



156 East First Street  
New Richmond, WI 54017  
Ph 715-246-4268 Fax 715-246-7129  
www.newrichmondwi.gov

**June 25, 2015**

**TO ALL PLAN COMMISSION MEMBERS:**

Jane Hansen	Ron Volkert
Rachel Greenwold	David Wilford
Kyle Hinrichs	Fred Horne
MaryKay Rice	Sarah Skinner (ex officio)

This is to notify you that there is a Plan Commission meeting scheduled for Tuesday, June 30, 2015 at 5:00 p.m. in the Council Chambers of the Civic Center, 156 East First Street, City of New Richmond, WI.

**AGENDA:**

1. Roll Call
2. Adoption of Agenda
3. Approval of the Minutes of the Previous Meeting, April 9, 2015
4. Willow River Bluffs – County Proposal
5. Public Hearing to consider the following:
  - a) Application for a Conditional Use Permit from St. Croix County to allow a nursing home in an area zoned Z-3 Multiuse/Corridor. Property is located at 1445 North Fourth Street and described as SEC 35 T31N R18W SE NW EXC PT TO CSM 7/2100 FORMERLY 577D T STAR PRAIRIE ANNEXED CITY NR #480541 EXP PT TO HWY AS IN 2521/543 (HWY PROJ 1559-08-24) PARCEL 22 FARM, EXC PT AS DESC IN 976142
  - b) Application for a Conditional Use Permit from New Richmond Utilities to allow a Solar Garden in an area zoned Z-7 Specific Use/Industrial District. Property is located on Madison Avenue just north of the well house and described as SEC 10 T30N R18W PT S1/2 BEING PT NE NW; BEING CSM 23-5519 LOT 4.
  - c) Text Amendments to Chapter 121 of the City Code – Zoning Ordinance, copies of which are on file and available in the office of the City Clerk.
6. Action on Public Hearing Agenda
7. St. Croix County Health Center - Storm Water Review
8. Communications and Miscellaneous
9. Adjournment

**Fred Horne,  
Mayor**

**cc:**

The News  
Nick Vivian  
Tom Rickard

Northwest Cable  
Mike Demulling  
Dan Licht

City Website  
Bob Meyer  
Jim VanderWyst

**Mark Samelstad  
Nancy Petersen  
JL Moore  
Jeff Berman  
David Loehr  
Mary Curtis  
Joel Hubmer  
Kevin Broten  
David Ristau  
Victoria Gaspord  
Terry Magle  
William Johnson  
Kristeen Thomas  
Elizabeth Kinney  
Charles Munson  
Bass Lake Inc**

**Beth Thompson  
Lisa Buoen  
Webber Properties  
A & R Investment  
Ryan Neville  
Ernest Nelson  
Duane Fitch  
Advent Company  
David Simantel  
Ernest Nelson  
Jeff Berman  
Sheldon Johnson  
Donald Anderson  
Mary Simonds  
Janice Thomas**

**Steve Skinner  
45<sup>th</sup> Parallel  
Cory Mulhollam  
Preferred Properties  
Darren Olien  
Aaron McDonald  
Brian Sweeney  
Sandra Flaherty  
John Gillis  
Catherine Smith  
Dawn Clemens  
John Troll  
St. Croix County  
Timothy Klein  
Donald Breid**

A majority of the members of the New Richmond City Council may be present at the above meeting.

Pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis. 2d 553, 494 N.W. 2<sup>nd</sup> 408 (1993) such attendance may be considered a meeting of the City Council and must be noticed as such, although the Council will not take action at this meeting.

If you need a sign language interpreter or other special accommodations, please contact the City Clerk at 246-4268 or Telecommunications Device for the Deaf (TDD) at 243-0453 at least 48 hours prior to the meeting so arrangements can be made.



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**TO:** Plan Commission Members

**FROM:** Tanya Reigel, City Clerk

**DATE:** June 25, 2015

**RE:** Willow River Bluffs – County Proposal

**Background**

Mike and Beth met with the County Planner, County Board Chairman, and a County Park representative to discuss the Willow River Bluffs area. The County would like to create a park in that area that could include a walking trail, bike trail, canoe launch and park area near the Willow River. The City would like to keep the area closest to County Road A that has infrastructure installed as an executive housing development. Mike will explain more about this item at the meeting.



## CONDITIONAL USE APPLICATION

### City of New Richmond

156 East First Street ❖ New Richmond, WI 54017

Phone: (715) 246-4268 ❖ Fax: (715) 246-7129

CITY ORDINANCE SECTION 121-32

[www.newrichmondwi.gov](http://www.newrichmondwi.gov)

**APPLICATION FEE: \$250      ESCROW \$500**

*Application fee should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

### 1. Property Owner Information:

Company name: St. Croix County

Last name: Thompson

First name: Patrick

Address: 1445 N. 4th Street

City/State/Zip: New Richmond, WI 54017

Phone number: 715.386.4600

Email address: Patrick.Thompson@co.saint-croix.v

### 2. Applicant Information: (if different from above)

Company name: \_\_\_\_\_

Last name: \_\_\_\_\_

First name: \_\_\_\_\_

Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email address: \_\_\_\_\_

### 3. Address(es) of Property Involved: (if different from above)

\_\_\_\_\_

### 4. Zoning Designation: Z-3

### 5. Comprehensive Plan Designation: \_\_\_\_\_

### 6. Statement of Intent: Briefly describe what will be done on or with the property requiring the conditional use approval.

The existing HHS building is being demolished to accommodate a new 50-bed SNF & Town Center.

The existing Health Center building will be renovated into a 40-bed CBRF.

\_\_\_\_\_

\_\_\_\_\_



**7. Additional Required Information:** Please see attached letter

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Proposed Plans:** In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.
- d. **Written Narrative:** The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:
  - 1) The proposed use is not in conflict with the Comprehensive Plan;
  - 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
  - 3) The proposed use is not in conflict with any City Ordinance requirements;
  - 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
  - 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

**8. Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: St. Croix County

Date: 5.22.2015

Applicant: Patrick Thompson

Date: 5.22.2015

Fee Paid: \$250      Date: 6/1/15      Receipt # 61150

Escrow Paid: \$500      Date: 6/1/15      Receipt # 61150

**Applications for conditional use approval must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**

## Conditional Use Application Page 2 continued

## 7. Additional Required Information:

a. Legal Description and PIN: Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.

Please refer to attached survey for legal description.

b. Consultant Fees: Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g. traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.

No traffic study was requested or prepared as part of this submittal. Access to the site will be consistent with the existing traffic pattern.

c. Proposed Plans: In addition to a scaled site plan, the following documentation may be requested: a landscape plan, grading and drainage plan, photometric plan, traffic study, and exterior building elevation drawings showing building materials may also be required if deemed necessary by City Staff. Plans for residential applications may be on 8½"x 11" or 11"x 17" paper; full size plans and digital copies must be submitted for commercial applications.

All plans will be submitted per request.

d. Written Narrative: The written narrative should thoroughly address the following general items in addition to any specific requirements pertaining to the proposed use, which Section 121-259 (Conditional Uses) of the City Code directs the City Council to evaluate during consideration of conditional use applications:

- 1) The proposed use is not in conflict with the Comprehensive Plan;
- 2) The proposed use is not in conflict with any Regulating Maps or other adopted plans;
- 3) The proposed use is not in conflict with any City Ordinance requirements;
- 4) The proposed use will not create an excessive burden on parks, streets and other public facilities; and
- 5) The proposed use will not be injurious to the surrounding neighborhood, will not negatively impact traffic or property values, and will not otherwise harm the public health, safety, and general welfare.

The existing 1974 Health and Human Services building at 1445 4<sup>th</sup> Street N has been demolished to accommodate a new skilled care environment for 50 older adults, a new 10-bed dementia crisis stabilization unit, and a Town Center with many amenities to enhance the residents' quality of life. Within the Town Center will be a Therapy space that will be open to the community for occupational therapy services. These buildings are intended to be consistent with the household model, creating homes rather than institutions for seniors. The new buildings are one story and designed to look like farm cottages. The current Health Center building will be renovated into a Community Based Residential Facility with 40 apartments (8 one-bedroom and 32 studio apartments).

The proposed use is not in conflict with the Comprehensive Plan and will not be in conflict with any Regulating Maps. Per memorandum from Daniel Licht, dated April 23, 2015, Section 121-49.G.2 requires that non-residential uses buildings have 50% or less metal or fiberglass finish. The attached elevation diagram will document the amount of brick and non-brick siding at each façade of the project. Over all, the project has more than 50% brick and masonry for the exterior façade. The steel siding specified will meet the City Ordinance of 26 gauge steel. The proposed project will not create excessive burden on adjacent parks, streets or public facilities as it will be contained within the property lines. The proposed project will not be injurious to the surrounding neighborhood or impact their property values, harm public health, safety and general welfare.





**City of New Richmond**  
156 East First Street ♦ New Richmond, WI 54017  
Phone: (715) 246-4268 ♦ Fax: (715) 246-7129

CITY ORDINANCE SECTION 117  
[www.newrichmondwi.gov](http://www.newrichmondwi.gov)

<input checked="" type="checkbox"/> SITE PLAN/STORM WATER REVIEW FEE:	<b>\$250.00</b>	<b>ESCROW: \$500.00</b>
<input type="checkbox"/> CONCEPT PLAN FEE:	<b>\$150.00</b>	<b>ESCROW: \$500.00</b>
<input type="checkbox"/> CERTIFIED SURVEY MAP FEE:	<b>\$200.00</b>	<b>ESCROW: \$500.00</b>
<input type="checkbox"/> AMENDED CERTIFIED SURVEY FEE:	<b>\$200.00</b>	<b>ESCROW: \$500.00</b>

*Application fees should be made payable to City of New Richmond upon submittal of completed application. Escrow funds will be drawn to cover project-related costs. Additional funds may be required; surplus funds will be returned.*

Please complete the application by typing or printing in ink. Use additional paper if necessary.

**1. Property Owner Information:**

Company name: St. Croix County  
Last name: Thompson First name: Patrick  
Address: 1445 N. 4th Street City/State/Zip: New Richmond, WI 54017  
Phone number: 715.386.4600 Email address: Patrick.Thompson@co.saint-croix.v

**2. Applicant Information: (if different from above)**

Company name: \_\_\_\_\_  
Last name: \_\_\_\_\_ First name: \_\_\_\_\_  
Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_  
Phone number: \_\_\_\_\_ Email address: \_\_\_\_\_

**3. Address(es) of Property Involved: (if different from above)**

\_\_\_\_\_

**4. Zoning Designation: Z-3**

**5. Statement of Intent:** Briefly describe what will be done on or with the property: \_\_\_\_\_  
The existing HHS building is being demolished to accommodate a new 50-bed SNF & Town Center.  
The existing Health Center building will be renovated into a 40-bed CBRF.

**6. Additional Required Information:**

- a. **Legal Description and PIN:** Provide the Parcel Identification Number(s) and the complete legal description(s) of the property involved.
- b. **Consultant Fees:** Whenever third party consultants are utilized in the preparation of application materials (e.g., a traffic study) or the City's review of an application (e.g., traffic study analysis), the applicant shall be responsible for paying the entirety of those costs.
- c. **Other Information:** In addition to a full size site plan and an 11" x 17" copy, topographic survey, landscape plan, grading and drainage plan, exterior building elevation drawings, and other information may also be required if deemed necessary by City Staff.

7. **Signature(s):** By signing below, you attest that the information above and attached is true and correct to the best of your knowledge.

Property Owner: St. Croix County

Date: 04.06.2015

Applicant: Patrick Thompson

Date: 04.06.2015

Fee Paid: \$250

Date: 4/15/15

Receipt # 60892

**Submit**

*4/15/15 Beth sent email to the project manager regarding the need for Escrow. asked for \$1,500.00 as was approved by C.C. on 4/13/15.*

**Zoning change applications must be received by the first Thursday of each month; applications received after this date cannot be heard at the Planning Commission meeting the following month.**





3601 Thurston Avenue N, Suite 100  
Anoka, MN 55303  
Phone: 763.231.5840  
Facsimile: 763.427.0520  
TPC@PlanningCo.com

## MEMORANDUM

TO: Beth Thompson

FROM: Daniel Licht, AICP

DATE: 25 June 2015

RE: New Richmond – St. Croix County Health Center

TPC FILE: 164.02

## BACKGROUND

St. Croix County has submitted plans for expansion of the St. Croix Health Center located at 185<sup>th</sup> Street and County Road K. The Health and Human Services building that previously existed on the site has been demolished and a new senior housing facility for 60 residents, including 10 unit memory care facility is planned. The proposed use requires consideration of conditional use permits to allow a nursing home facility within the Z3 District and for more than one principal building upon a lot. A public hearing has been noticed for a special Plan Commission meeting on 30 June 2015 at 5:00 p.m. to consider the application.

### Exhibits:

- A. Site Location
- B. Existing Conditions
- C. Demolition Plan
- D. Site Plan (2 sheets)
- E. Landscape Plan (6 sheets)
- F. Photometric Lighting Plan
- G. Grading and Erosion Control Plan
- H. Utility Plan (3 sheets)
- I. Building Elevations (7 sheets)
- J. Building Floor plans (9 sheets)

## ANALYSIS

**Comprehensive Plan.** The HWY 64/65 Comprehensive Land Use Plan guides the subject site for commercial land uses. The Comprehensive Plan includes policy statements regarding the provision of life cycle housing and availability of quality health care within the community. The proposed facility meets both of these objectives and is consistent with the Comprehensive Plan.

**Zoning.** The subject site is zoned Z3, Multi Use / Corridor District. Nursing home facilities such as the proposed use are allowed as a conditional use within the Z3 District. The subject site also includes several other buildings with county functions, as well as an existing senior apartment building that will be attached to the proposed facility. Multiple principal buildings are also allowed in the Z3 District as a conditional use. Consideration of the conditional use permit is to be based upon, but not limited to, the evaluation criteria outlined in Section 121-32 of the Zoning Ordinance.

**Surrounding Uses.** The subject site is surrounded by the following existing and planned uses outlined in the table below. The proposed use will be compatible with the surrounding land uses.

Direction	Land Use Plan	Zoning Map	Existing Use
North	ETZ	ETZ	Agriculture
East	Commercial Mixed Use	Z3 District	Agriculture
South	Medium Density Residential	Z3 District	Commercial Single Family
West	Commercial	Z3 District	Agriculture

**Lot Requirements.** The Z3 District establishes lot requirements including a minimum lot width of 80 feet and maximum lot coverage of 30 percent. The width of the subject site is 770 feet measured at the front setback line from 185<sup>th</sup> Street, which exceeds the requirements of the Zoning Ordinance. The site plan identifies the impervious surface area of the subject site with the proposed improvements as 16.2 percent, which complies with the lot coverage limits established by the Zoning Ordinance.

**Setbacks.** The Z3 District requires the setbacks applicable to the subject site as shown in the table below. The proposed and existing sections of the building exceed the respective setback requirements of the Z3 District.

	4 <sup>th</sup> Street	East	North	West
Required	25ft.	10ft.	35ft.	10ft.
Proposed	85ft.	130ft.	775ft.	290ft.

**Access.** Section 121-51.H of the Zoning Ordinance specifies that nursing home facilities are to be accessed via a minor arterial street or collector street with sufficient capacity to accommodate traffic generated by the proposed use. The proposed facility is to be accessed from County Road K/185<sup>th</sup> Street at two locations, which is a County



road and functions as a collector roadway parallel to HWY 64. County Road K/185<sup>th</sup> Street has sufficient capacity to accommodate traffic generated by the proposed use. The driveway aprons are 24 feet wide as allowed by Section 121-52.A.1.c of the Zoning Ordinance. The driveways are also 210 feet apart so as not to cause conflicts with traffic on County Road K/185<sup>th</sup> Street from turning movements. A temporary access to the St. Croix Industries building on the subject site will be provided during construction. The developer will be required to remove this driveway and restore the yard and boulevard areas after construction of an internal access from the proposed permanent driveway is completed.

**Off-Street Parking.** Table 14 of the Zoning Ordinance does not include a requirement for off-street parking for senior housing type uses. Section 121-52.A.7 of the Zoning Ordinance states that where the Zoning Ordinance does not specify a parking requirement for a given use, sources such as the Institute of Transportation Engineers (ITE) is to be used to evaluate the off-street parking. ITE's 3<sup>rd</sup> Edition Parking Generation Manual outlines off-street parking recommendations for assisted and memory care senior housing uses of 0.36 stalls per dwelling unit. Based on the 60 units within the proposed facility and 40 apartments within renovated health center building, 36 off-street parking stalls are required. The site plan indicates that 173 parking stalls are provided within the subject site, which exceeds the requirements of the Zoning Ordinance. Section 121-52.A.3 of the Zoning Ordinance specifies that not more than 50 percent of the off-street parking stalls may be between the principal building and public street unless additional landscaping is provided. The site plan illustrates 56 parking stalls to the south of the principal building in the yard adjacent to County Road K/185<sup>th</sup> Street, which is less than 50 percent of the off-street parking within the site. The parking stalls are designed with dimensions of 9 feet by 18 feet, bituminous pavement and perimeter concrete curb as required by Section 121-52.A.5 of the Zoning Ordinance.

**Building Elevations.** The proposed building has an attractive exterior consisting of brick material and red set siding with white trim and pitched roof sections. Section 121-49.G.2 of the Zoning Ordinance requires brick or masonry material be used for 50 percent of the surface of any building wall unless exempted by conditional use permit. The submitted plans indicate that the exterior materials for the proposed building comply with this requirement. Steel siding used for the balance of the exterior elevation is 26 gauge steel, which complies with the Zoning Ordinance.

**Landscape Plan.** The developer has submitted a landscape plan illustrating protection of existing plantings within the subject site and installation of new plantings with the proposed improvements. Table 15 of the Zoning Ordinance requires one shade tree per 5,000 square feet of building area and one evergreen shrub per 1,000 square feet of building area in the front yard. The plantings proposed south of the proposed building within the front yard comply with this requirement. Within the rear yard, Table 15 requires one shade tree per 40 lineal feet of lot width or 20 trees for the subject site and the existing and proposed plantings north of the building comply with this requirement. The planting types and sizes comply with the requirements of the Zoning Ordinance. Section 121-55.I.2 of the Zoning Ordinance requires the developer to provide a financial

guarantee that the landscaping shown on the landscape plan will be installed and survives for two winter seasons.

**Exterior Lighting.** The developer has submitted a photometric lighting plan and detail sheets for exterior lighting to be included with the proposed facility. Section 121-51 of the Zoning Ordinance limits all exterior light fixtures to a height of 35 feet and requires a shoebox design with horizontal cut-off to minimize glare cast towards adjacent properties or public streets. All of the proposed light fixtures comply with the limits established by the Zoning Ordinance. The intensity of the light cast at the property line may not exceed one foot-candle. The developer has submitted a photometric lighting plan illustrating the illumination pattern of the proposed site lighting and light cast at all property line complies with the limits of the Zoning Ordinance.

**Signs.** The developer has submitted a plan for a freestanding sign for the subject site as a separate sign permit application. All signs are subject to the requirements of Section 121-44 of the Zoning Ordinance and require a permit to be issued prior to construction.

**Utility Plan.** The developer has submitted a utility plan for the subject site illustrating all existing and proposed utility installations. Electric service to the subject site is provided by Xcel Energy and must be coordinated by the developer with Xcel Energy. The utility plan is subject to review and approval of the Public Works Director. The existing sewer service to the property extends outside of the subject site through privately owned property before connecting with the City's trunk sewer main. The developer is required to provide documentation of easements overlying the sewer service line and the area needed to access the service line for maintenance. Additional issues:

- The site plan is to be revised to provide paved access to the City's existing utility vault west of the existing west driveway, subject to approval of the Public Works Director.
- The utility plan notes shall specify that all existing watermain that is to be reinstalled must be pressure tested.
- City staff recommends the developer prepare a plan for continuation of water service to the existing building during construction.
- The proposed stormsewer draining from the proposed courtyards will likely experience freezing issues due to shallow depth.
- As built plans for the utility improvements must be submitted upon completion of construction.
- On Sheet C500, Plate 14 must be revised to change the label for the slope from 2" to 2%.



The City has, in the past, provided maintenance for the water and utility services within the subject site, which would be the responsibility of the property owner. An agreement drafted by the City Attorney and approved by the Utility Commission will be required for such maintenance services in the future to address liability issues and assign cost responsibilities. This agreement is a matter separate from the development applications considered in accordance with the development proposal and does not require review and approval of the Plan Commission.

**Grading Plan.** The developer has submitted a grading and erosion control plan for the subject site. The grading and erosion control plan has been reviewed by the City's engineering consultant and approved by the Public Works Director.

**Cemetery.** The City has identified that St. Croix County divided an adjacent parcel to the north of the subject site creating two parcels, one of which is a cemetery owned by St. Croix County. The parcel that was divided is within one and one-half miles of the City boundary and is subject to Extra Territorial Zoning, which would have required attachment of the parcels to the City for the land division to occur. No application for the required annexation and City approval of the land division was submitted, processed and approved by the City prior to the land division being recorded and the ownership of one of the resulting parcels transferred and the parcels were not annexed to the City. City staff has been asked to review if the City can address the land division issue as part of the consideration of the conditional use permit for the subject site.

The conditions imposed in approving a conditional use permit must be rationally related to the zoning ordinance that restricts the conditional use. Accordingly, the City must determine if requiring the County attach the cemetery parcel to the City is rationally related to the conditional use permit application for the St. Croix County Health Center. According to the City Attorney, the case law is sparse on this issue, and provides little guidance. However, based on those cases that have been decided which require a rational relationship between the proposed use and the zoning ordinance, it is difficult to identify a theory which provides an appropriate basis for requiring the County to attach the unrelated cemetery parcel based on the County's proposed use of its property as a Health Center.

In order to justify such condition, the City would be required to identify a connection between the condition and one of the Evaluation Criteria contained within Section 121-32 F. of the Zoning Code. Some connection must also be identified with respect to the unrelated cemetery parcel. Here the City is contemplating imposing a condition related to a separate non-adjacent property, and the condition is not upon the conditional use proposed in the conditional use permit application—the expansion of the Health Center. Based upon the City Attorney's reading of the City's Zoning Code, applicable statutes and the relevant case law, he does not interpret the contemplated condition to be a permissible condition/restriction and recommend the City address the County's failure to attach the cemetery parcel through a process outside of the application of the St. Croix County Health Center application.

## RECOMMENDATION

The Design Review Committee reviewed the application at their meeting on 25 June 2015. City staff recommends approval of the application subject to the stipulations outlined below.

## POSSIBLE ACTIONS

- A. Motion to **approve** a conditional use permit for St. Croix County Health Center, subject to the following conditions:
1. The temporary access to the St. Croix Industries shall be removed and the yard and boulevard restored upon completion of the proposed permanent driveways shown on the site plan.
  2. Electric service to the subject site is provided by Xcel Energy and must be coordinated by the developer with Xcel Energy.
  3. All utility issues are subject to review and approval of the Public Works Director, including the following:
    - a. The site plan is to be revised to provide paved access to the City's existing utility vault west of the existing west driveway, subject to approval of the Public Works Director.
    - b. The utility plan notes shall specify that all existing watermain that is to be reinstalled must be pressure tested.
    - c. On Sheet C500, Plate 14 must be revised to change the label for the slope from 2" to 2%.
    - d. As built plans for the utility improvements must be submitted upon completion of construction.
  4. The developer shall provide a financial guarantee that the landscaping shown on the landscape plan will be installed and survives for two winter seasons as required by Section 121-55.1.2 of the Zoning Ordinance.
  5. The developer shall provide documentation of easements overlying the private sewer service line and the area needed to access the service line for maintenance outside of the subject site and/or public right-of-way.
  6. All grading, drainage and erosion control issues are subject to review and approval of the Public Works Director.

- B. Motion to **deny** the application based on a finding that the request is inconsistent with the policies of the Comprehensive Plan and requirements of the Zoning Ordinance.
- C. Motion to **table** for additional information and/or further discussion.
- c. Mike Darrow, City Administrator  
Jeremiah Wendt, Public Works Director  
Sarah Skinner, Building Inspector  
Tanya Reigel, City Clerk  
Nick Vivan, City Attorney

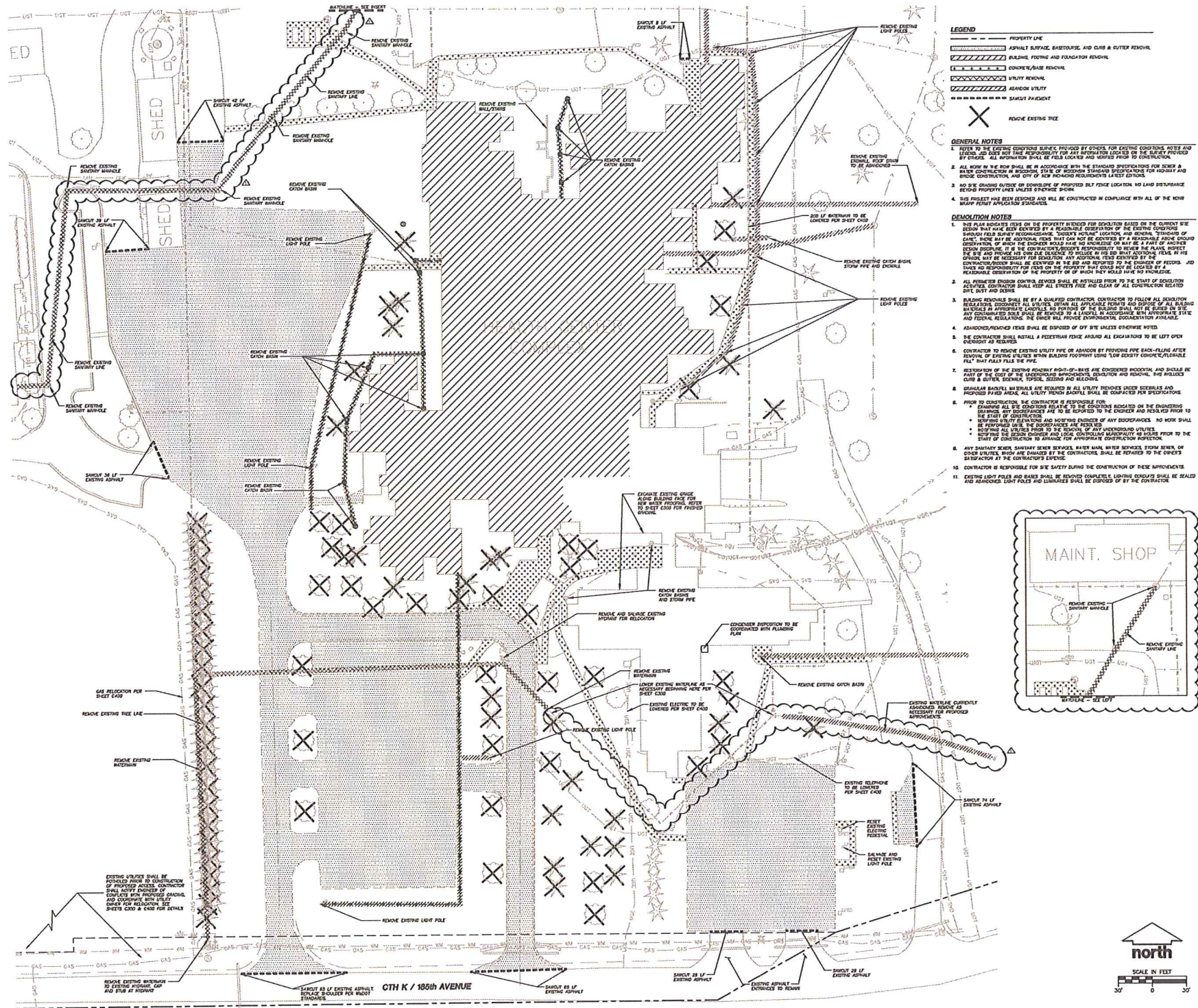












**Horty Elving**  
Horty Elving & Associates, Inc.  
505 East Green Street, Minneapolis, MN 55404-1490  
T 612.332.4422 F 612.344.1282 hortyelving.com

**St. Croix County  
BID PACKAGE 1  
Health Center Additions & Renovation  
New Richmond, WI**

Sheet Revision Schedule

Rev. #	Date	Revision	Description
1	10/20/15	LD	ISSUED FOR BIDDING
2	04/26/16	LD	CHG OF NEW EXISTING SCHEMATIC
3	05/20/16	LD	CHG OF NEW EXISTING
4	06/17/16	LD	REVISED EXISTING
5			
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**JSD Professional Services, Inc.**  
Engineers • Foremen • Planners  
"WE BELIEVE IN PLANNING FIRST, THEN CONSTRUCTION."  
THOROUGH DESIGN, QUALITY AND EXPERIENCE.  
HAIKINS REGIONAL OFFICE  
400 WISCONSIN DRIVE, SUITE 201  
VERONA, WISCONSIN 53593  
TEL 608.554.1917 FAX 608.544.2258 FAX

**EXHIBIT C**

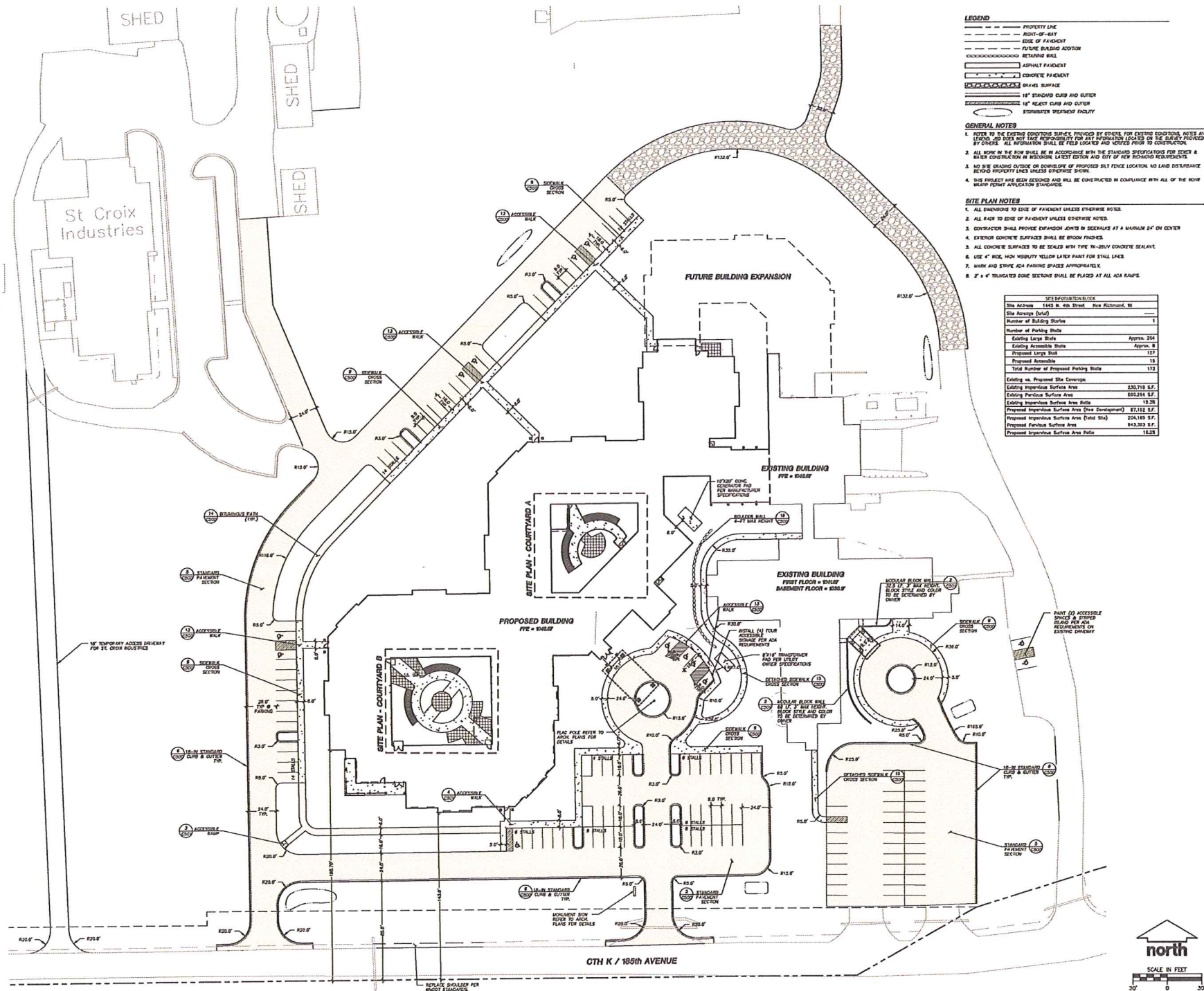
PRELIMINARY  
NOT FOR CONSTRUCTION

DEMOLITION PLAN

Scale: 1" = 30' Date: 03/09/15 Project Number: 140238

**C100**





- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY
  - EDGE OF PAVEMENT
  - FUTURE BUILDING ADDITION
  - RETAINING WALL
  - ADJACENT PAVEMENT
  - CONCRETE PAVEMENT
  - CHALK SURFACE
  - 18" STANDARD CURB AND GUTTER
  - 18" RECYCLED CURB AND GUTTER
  - STORMWATER TREATMENT FACILITY
- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS, NOTES AND LEGEND. THE SURVEY SHALL BE RESPONSIBLE FOR ANY INFORMATION LOCATED ON THE SURVEY PROVIDED BY OTHERS. ALL INFORMATION SHALL BE FIELD CHECKED AND NOTED PRIOR TO CONSTRUCTION.
  - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF NEW RICHMOND REQUIREMENTS.
  - NO NEW GRADING OUTSIDE OF CONTOUR OF EXISTING DIRT FENCE LOCATION AND LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE NOW NEARLY FINAL APPLICATION STANDARDS.
- SITE PLAN NOTES**
- ALL DIMENSIONS TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - ALL RAMP TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
  - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE III-200V CONCRETE SEALANT.
  - USE 4" RISE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  - MARK AND STRIKE ADA PARKING SPACES APPROPRIATELY.
  - 2' x 4' TRUNCATED CONE SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.

SITE INFORMATION BLOCK	
Site Address	1405 N. 40th Street, New Richmond, WI
Site Acreage (Total)	1.00
Number of Building Stories	1
Existing Large Sheds	Approx. 254
Existing Accessible Sheds	Approx. 8
Proposed Large Sheds	137
Proposed Accessible	137
Total Number of Proposed Parking Sheds	172
Existing vs. Proposed Site Coverage	
Existing Impervious Surface Area	230,710 S.F.
Existing Pavement Surface Area	690,361 S.F.
Existing Impervious Surface Area Ratio	10.38
Proposed Impervious Surface Area (New Development)	87,112 S.F.
Proposed Impervious Surface Area (Total Site)	317,822 S.F.
Proposed Pavement Surface Area	943,393 S.F.
Proposed Impervious Surface Area Ratio	16.28

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505 East Grant Street, Minneapolis, MN 55404-1450  
T 612.332.4422 F 612.344.1252 hortyelving.com

**St. Croix County  
BID PACKAGE 1  
Health Center Additions & Renovation  
New Richmond, WI**

Sheet Revision Schedule			
Rev.	Date	Revision	Description
1	12-15-15	ED SUBMITTAL	
2	01-06-16	CITY OF NEW RICHMOND SUBMITTAL	
3	01-06-16	FOR REVIEW SET	
4	02-11-16	FOR REVIEW SET	
5	05-11-16	FOR REVIEW SET	
6	05-11-16	FOR REVIEW SET	
7	05-11-16	FOR REVIEW SET	
8	05-11-16	FOR REVIEW SET	
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18	05-11-16	FOR REVIEW SET	
19	05-11-16	FOR REVIEW SET	
20	05-11-16	FOR REVIEW SET	

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HEADQUARTERS REGIONAL OFFICE  
3011 COLUMBIA DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
800.848.8000 FAX 608.261.2222

**EXHIBIT D**

PRELIMINARY  
NOT FOR CONSTRUCTION

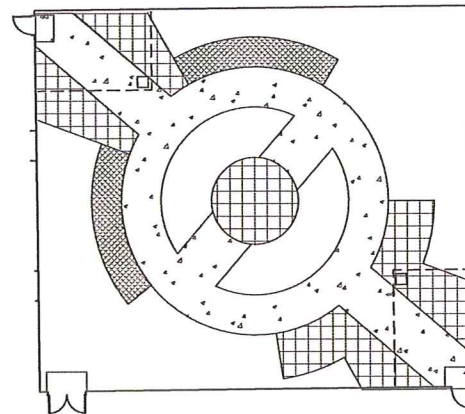
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**SITE PLAN**

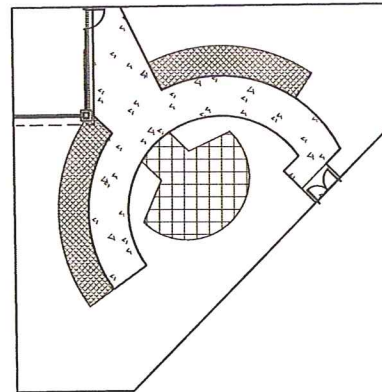
Scale: 1" = 30'  
Date: 03/09/15  
Project Number: 142033

**C200**

10' 0" 0' 0" 0' 0"



SITE PLAN - COURTYARD A



SITE PLAN - COURTYARD B

- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY
  - EDGE OF PAVEMENT
  - FUTURE BUILDING ADDITION
  - RETAINING WALL
  - ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - 18" CONCRETE CURB AND GUTTER
  - 18" REINFORCED CONCRETE CURB AND GUTTER

- GENERAL NOTES**
1. REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS, NOTES AND LEGEND. JOB OWNER HAS THE RESPONSIBILITY FOR ANY INFORMATION LOCATED ON THE SURVEY PROVIDED BY OTHERS. ALL INFORMATION SHALL BE FIELD LOCATED AND VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF NEW RICHMOND REQUIREMENTS.
  3. NO SITE GRADING OUTSIDE OR CONFORMANCE OF PROPOSED SBT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
  4. THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE NEW BRUMP PERMIT APPLICATION STANDARDS.

- SITE PLAN NOTES**
1. ALL DIMENSIONS TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. ALL PAVES TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  3. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24" ON CENTER.
  4. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
  5. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE 16-200V CONCRETE SEALANT.
  6. USE 4" HIGH, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
  7. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
  8. 2' x 4' TRUNCATED CONE SECTIONS SHALL BE PLACED AT ALL ADA RAMP.

Horty Elving

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T 612.332.4422 F 612.544.1282 hortyelving.com

**St. Croix County  
BID PACKAGE 1  
Health Center Additions & Renovation  
New Richmond, WI**

**Sheet Revision Schedule**

Rev. #	Date	Revision	Description
1	03/05/15	03/05/15	ISSUED FOR BIDDING
2	03/05/15	03/05/15	CITY OF NEW RICHMOND SUBMITTAL
3	03/05/15	03/05/15	FINAL CITY REVIEW EET
4	03/05/15	03/05/15	CITY REVIEW EET
5	03/05/15	03/05/15	ISSUED FOR BIDDING
6	03/05/15	03/05/15	ISSUED FOR BIDDING
7	03/05/15	03/05/15	ISSUED FOR BIDDING
8	03/05/15	03/05/15	ISSUED FOR BIDDING
9	03/05/15	03/05/15	ISSUED FOR BIDDING
10	03/05/15	03/05/15	ISSUED FOR BIDDING
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15	03/05/15	03/05/15	ISSUED FOR BIDDING
16	03/05/15	03/05/15	ISSUED FOR BIDDING
17	03/05/15	03/05/15	ISSUED FOR BIDDING
18	03/05/15	03/05/15	ISSUED FOR BIDDING
19	03/05/15	03/05/15	ISSUED FOR BIDDING
20	03/05/15	03/05/15	ISSUED FOR BIDDING

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FUTURE OF THE COMMUNITY AND THE ENVIRONMENT."

STATIONER REGIONAL OFFICE  
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VERONA, WISCONSIN 53593  
608.261.5000 FAX 608.261.2208 FAX

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**SITE PLAN - COURTYARD DESIGN**

Scale: 1" = 10'  
Date: 03/05/15  
Project Number: 145038

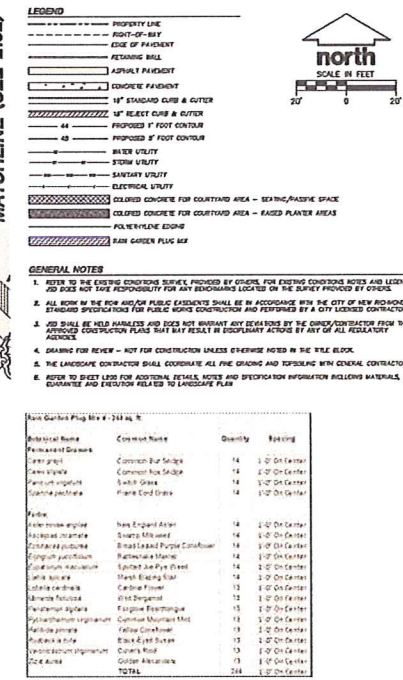
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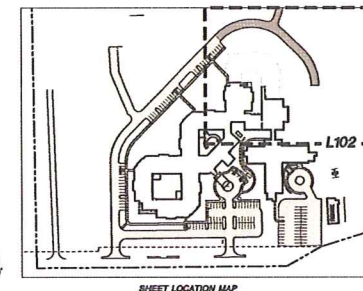
**SHEET LOCATION MAP**

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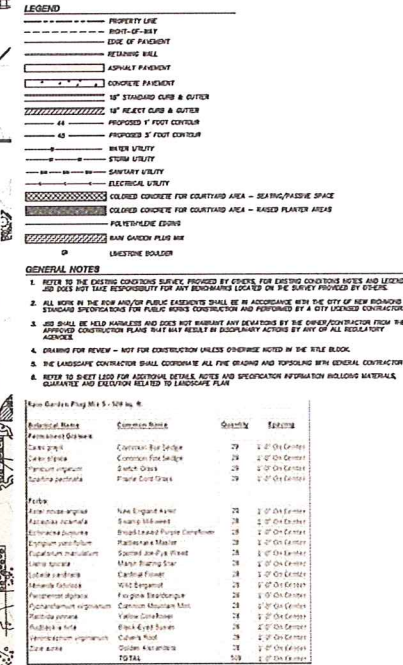
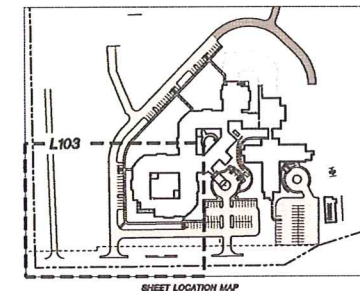





**MADISON REGIONAL OFFICE**  
151 HORIZON DRIVE, SUITE 101  
VERONA, WISCONSIN 53593  
800.848.5000 PHONE | 608.248.2295 FAX





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 505 Lee Casser Street, Minneapolis, MN 55454-1499  
 T 612.332.4552 F 612.338.1252 hortyelving.com

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## St. Croix County

### BID PACKAGE 1

### Health Center Additions & Renovation


### New Richmond, WI

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#### Sheet Revision Schedule

Rev. #	Date	Revision	Description
1	03-05-10	CD Submittal	
2	04-05-10	City of New Richmond Submittal	
3	05-13-10	City Council #1	
4	05-14-10	Bot Kalamien #1	
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 801 LINDSEY DRIVE, SUITE 100  
 VERONA, WISCONSIN 53593  
 608.866.5500 (LOCAL) 800.644.6200 (TOLL FREE)

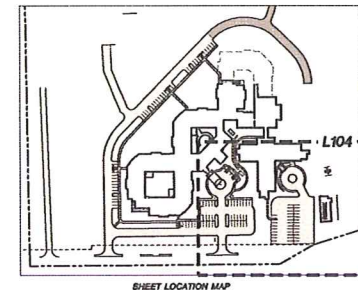
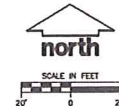
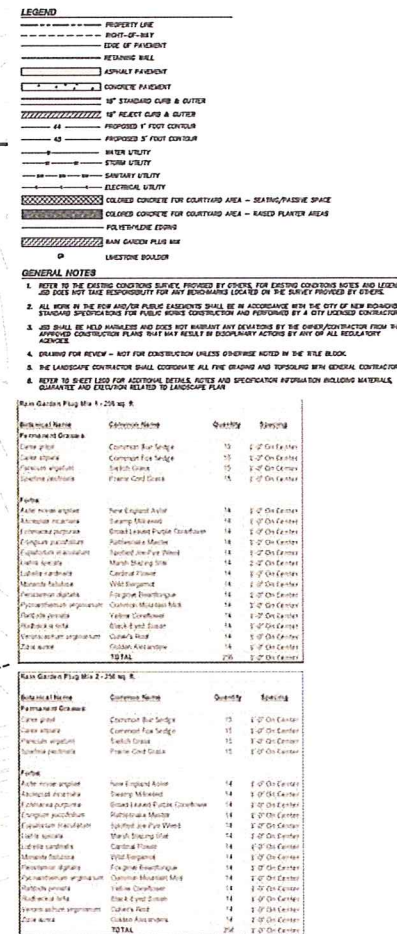
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\* Deutsche Wertpapier Pfand

\* *Source: Yacharya et al.*



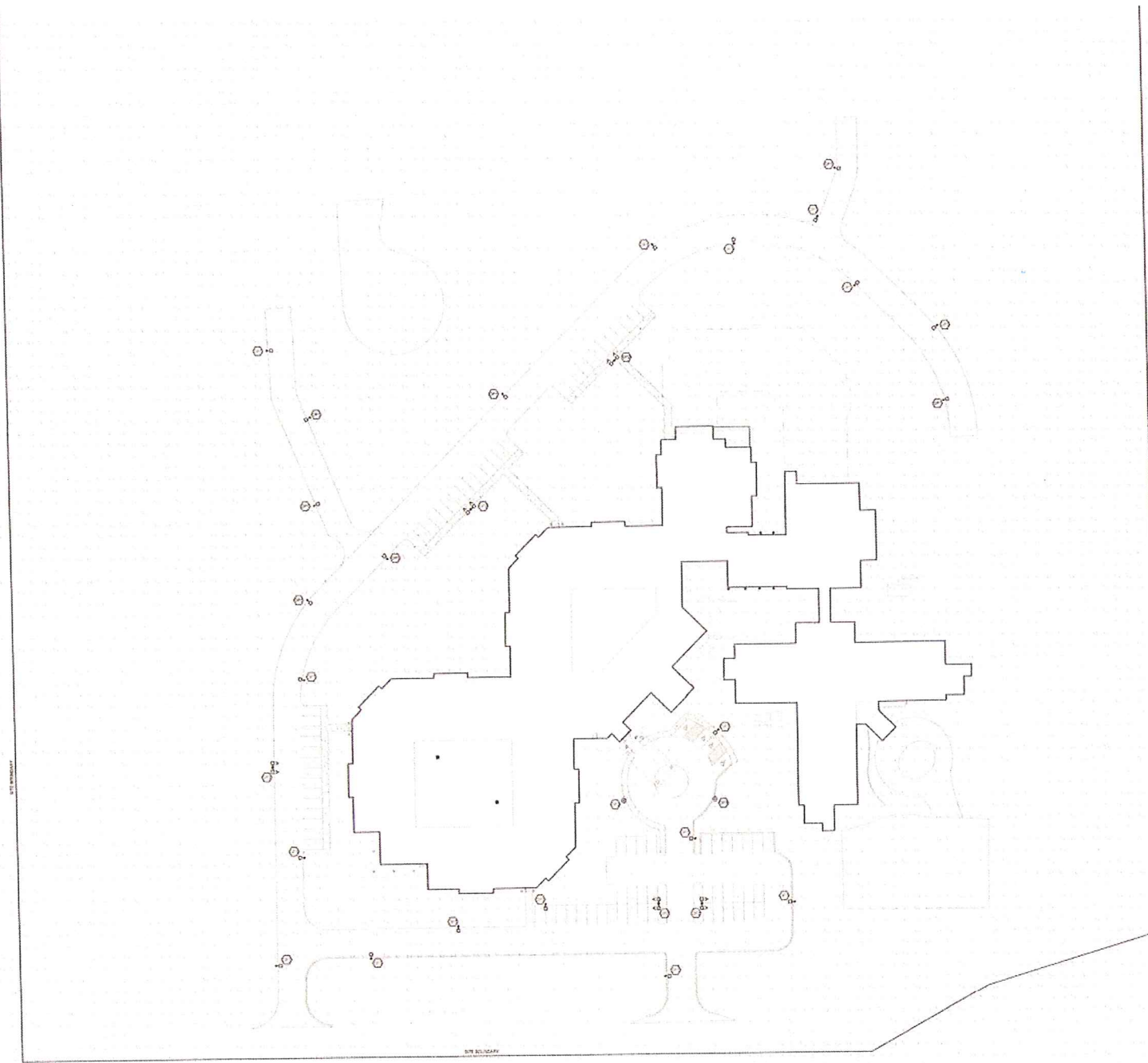
 **L200**



St. Croix County  
BID PACKAGE 2  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

Rev. #	Date	Revised	Description
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001	POLE LIGHT 1 HEAD	1	LED 12W	220V	LED AREA LIGHTING WITH (1) 30" LED LIGHT ENGINE AND TYPE II DISTRIBUTION 400K COLOR TEMPERATURE: DARK BRONZE FINISH 20 SQUARE STRAIGHT STEEL POLE 4"	1. 000000 0001 LED 300 330H A40K 12W MMS 1 SPALL 0000 0000 0000 0002 30" AC 0000 0000 0000
002	POLE LIGHT 1 HEAD	1	LED 11W	220V	LED AREA LIGHTING WITH (1) 30" LED LIGHT ENGINE AND TYPE II DISTRIBUTION 400K COLOR TEMPERATURE: DARK BRONZE FINISH 20 SQUARE STRAIGHT STEEL POLE 4" IN LEFT ISOLATED OPTICS HEAD AND (1) RIGHT ISOLATED OPTICS HEAD	1. 000000 0001 LED 100 330H A40K 11W MMS 1 SPALL 0000 0000 0000 0002 20" AC 0000 0000 0000
003	POLE LIGHT LED POLE	1	LED 11W	220V	LED AREA LIGHTING WITH (1) 30" LED LIGHT ENGINE AND TYPE II DISTRIBUTION 400K COLOR TEMPERATURE: DARK BRONZE FINISH 12 ROUND STRAIGHT STEEL POLE 4" DIA	1. 000000 0001 LED 140 330H A40K 11W MMS 1 SPALL 0000 0000 0000 0002 12" 40" 0000 0000 0000

EXHIBIT F

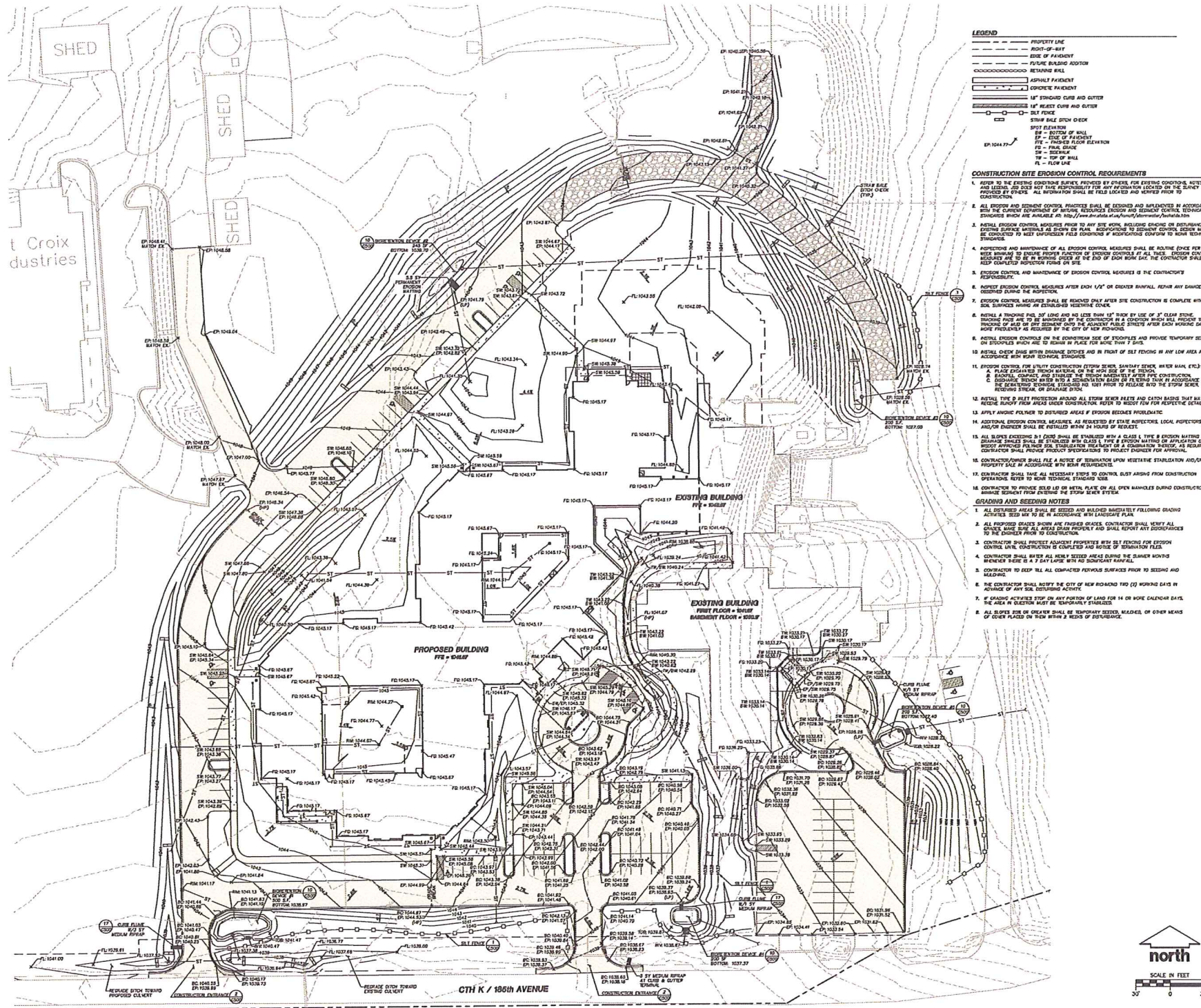
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SITE LIGHTING PLAN

Scale: 1" = 40' Date: 06/15/15 Project Number: 146038







- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY
  - EDGE OF PAVEMENT
  - FUTURE BUILDING ADDITION
  - RETAINING WALL
  - ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - 18" REBAR CURB AND GUTTER
  - 24" FENCE
  - STORM BALE DITCH OCK
  - SPOT ELEVATION
  - EP - ELEVATION
  - FL - FLOW LINE
  - FT - FINISHED FLOOR ELEVATION
  - ST - SIDEWALK
  - TL - TOP OF WALL
  - FL - FLOW LINE
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. REFER TO THE EXISTING CONDITIONS SURVEY, PROVIDED BY OTHERS, FOR EXISTING CONDITIONS, NOTES AND LEGEND. THE USER ASSUMES RESPONSIBILITY FOR ANY INFORMATION LOCATED ON THE SURVEY PROVIDED BY OTHERS. ALL INFORMATION SHALL BE FIELD LOCATED AND VERIFIED PRIOR TO CONSTRUCTION.
  2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT EROSION AND SEDIMENT CONTROL STANDARDS, TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.nj.us/soil/soilwater/soilwater.htm>
  3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. ADJUSTMENTS TO EROSION CONTROL MEASURES MAY BE REQUIRED TO MEET UNPUBLISHED FIELD CONDITIONS IF ADJUSTMENTS CONFORM TO NEWER EROSION STANDARDS.
  4. APPROVED AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE CHECKS BY THE USER. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF A CONSTRUCTION PROJECT. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF A CONSTRUCTION PROJECT. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF A CONSTRUCTION PROJECT.
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**Horty Elving**

Horty Elving & Associates, Inc.  
505 East Grant Street, Minneapolis, MN 55404-1470  
T 612.332.4422 F 612.344.1282 hortyelving.com

**St. Croix County**  
**BID PACKAGE 1**  
**Health Center Additions & Renovation**  
New Richmond, WI

**Sheet Revision Schedule**

Rev.	Date	Description
1	12/20/15	DESIGN
2	12/20/15	CITY OF NEW RICHMOND SUBMITTAL
3	12/20/15	NOA FOR REVIEW SET
4	12/20/15	NOA REVIEW SET
5	12/20/15	NOA APPROVAL
6	12/20/15	NOA APPROVAL
7	12/20/15	NOA APPROVAL
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18	12/20/15	NOA APPROVAL
19	12/20/15	NOA APPROVAL
20	12/20/15	NOA APPROVAL

**JSD Professional Services, Inc.**  
Engineers • Surveyors • Planners

THESE PLANS HAVE BEEN PREPARED BY A PROFESSIONAL ENGINEER OR SURVEYOR AND ARE A TRUE AND CORRECT REPRESENTATION OF THE WORK SHOWN THEREON.

MINNESOTA REGIONAL OFFICE  
100 HUNTER DRIVE, SUITE 101  
VIRGINIA, MISSOURI 63089  
(636) 333-1111

**EXHIBIT G**

PRELIMINARY  
NOT FOR CONSTRUCTION

**Grading and Erosion Control Plan**

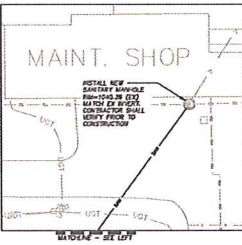
Scale: 1" = 30'

Date: 03/05/15

Project Number: 140038

**C300**






- [illegible]

PROPOSED STORM SEWER FACILITIES SCHEDULE									
LINE NO.	POVERTY RD	RAVEN RD	STATION	STRUCTURE NO.	STRUCTURE DESCRIPTION	GRAB			
1	1000-10	1000-10	1+00	2-2	2-2 (10' x 10')	10' x 10' (10' x 10')			
2	1000-10	1000-10	1+00	1-1	1-1 (10' x 10')	10' x 10' (10' x 10')			
3	1000-10	1000-10	1+00	3-3	3-3 (10' x 10')	10' x 10' (10' x 10')			
4	1000-10	1000-10	1+00	4-4	4-4 (10' x 10')	10' x 10' (10' x 10')			
5	1000-10	1000-10	1+00	5-5	5-5 (10' x 10')	10' x 10' (10' x 10')			
6	1000-10	1000-10	1+00	6-6	6-6 (10' x 10')	10' x 10' (10' x 10')			
7	1000-10	1000-10	1+00	7-7	7-7 (10' x 10')	10' x 10' (10' x 10')			
8	1000-10	1000-10	1+00	8-8	8-8 (10' x 10')	10' x 10' (10' x 10')			
9	1000-10	1000-10	1+00	9-9	9-9 (10' x 10')	10' x 10' (10' x 10')			
10	1000-10	1000-10	1+00	10-10	10-10 (10' x 10')	10' x 10' (10' x 10')			
11	1000-10	1000-10	1+00	11-11	11-11 (10' x 10')	10' x 10' (10' x 10')			
12	1000-10	1000-10	1+00	12-12	12-12 (10' x 10')	10' x 10' (10' x 10')			
13	1000-10	1000-10	1+00	13-13	13-13 (10' x 10')	10' x 10' (10' x 10')			
14	1000-10	1000-10	1+00	14-14	14-14 (10' x 10')	10' x 10' (10' x 10')			
15	1000-10	1000-10	1+00	15-15	15-15 (10' x 10')	10' x 10' (10' x 10')			
16	1000-10	1000-10	1+00	16-16	16-16 (10' x 10')	10' x 10' (10' x 10')			
17	1000-10	1000-10	1+00	17-17	17-17 (10' x 10')	10' x 10' (10' x 10')			
18	1000-10	1000-10	1+00	18-18	18-18 (10' x 10')	10' x 10' (10' x 10')			
19	1000-10	1000-10	1+00	19-19	19-19 (10' x 10')	10' x 10' (10' x 10')			
20	1000-10	1000-10	1+00	20-20	20-20 (10' x 10')	10' x 10' (10' x 10')			
21	1000-10	1000-10	1+00	21-21	21-21 (10' x 10')	10' x 10' (10' x 10')			
22	1000-10	1000-10	1+00	22-22	22-22 (10' x 10')	10' x 10' (10' x 10')			
23	1000-10	1000-10	1+00	23-23	23-23 (10' x 10')	10' x 10' (10' x 10')			
24	1000-10	1000-10	1+00	24-24	24-24 (10' x 10')	10' x 10' (10' x 10')			
25	1000-10	1000-10	1+00	25-25	25-25 (10' x 10')	10' x 10' (10' x 10')			
26	1000-10	1000-10	1+00	26-26	26-26 (10' x 10')	10' x 10' (10' x 10')			
27	1000-10	1000-10	1+00	27-27	27-27 (10' x 10')	10' x 10' (10' x 10')			
28	1000-10	1000-10	1+00	28-28	28-28 (10' x 10')	10' x 10' (10' x 10')			
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38	1000-10	1000-10	1+00	38-38	38-38 (10' x 10')	10' x 10' (10' x 10')			
39	1000-10	1000-10	1+00	39-39	39-39 (10' x 10')	10' x 10' (10' x 10')			
40	1000-10	1000-10	1+00	40-40	40-40 (10' x 10')	10' x 10' (10' x 10')			

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 **C500**

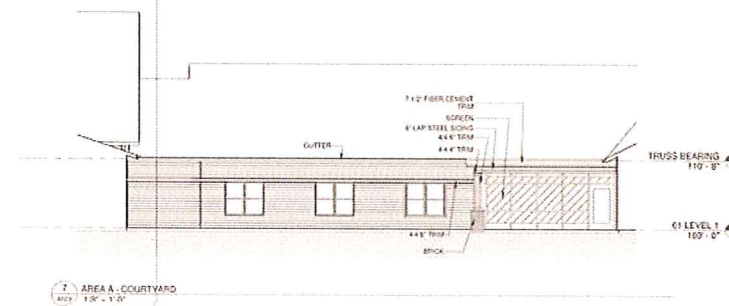
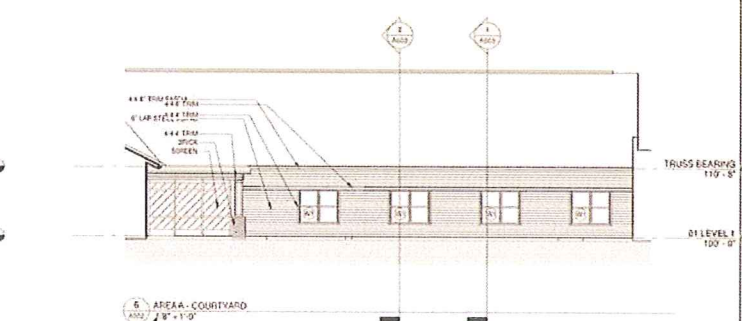
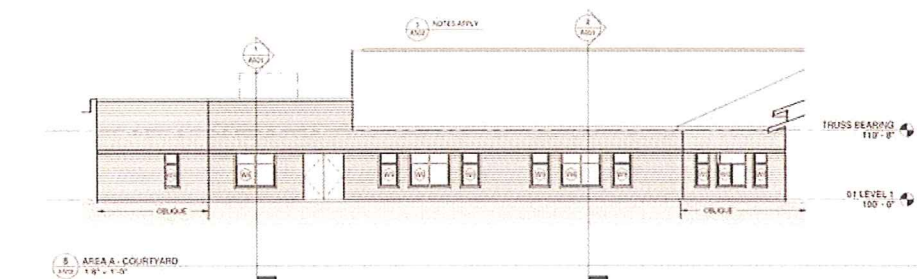
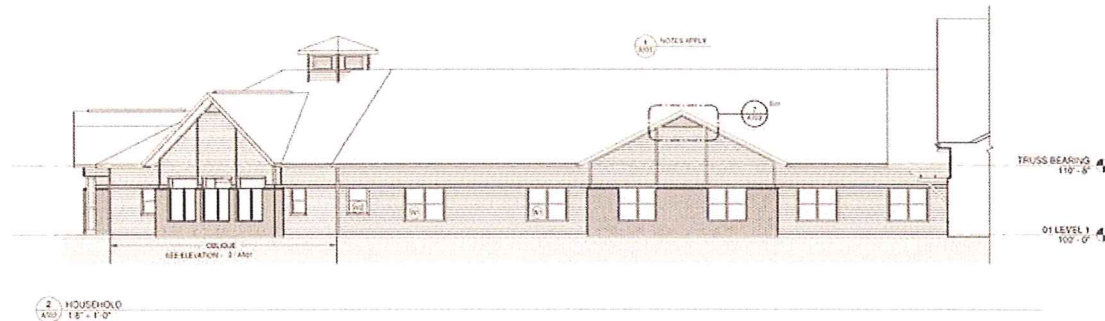
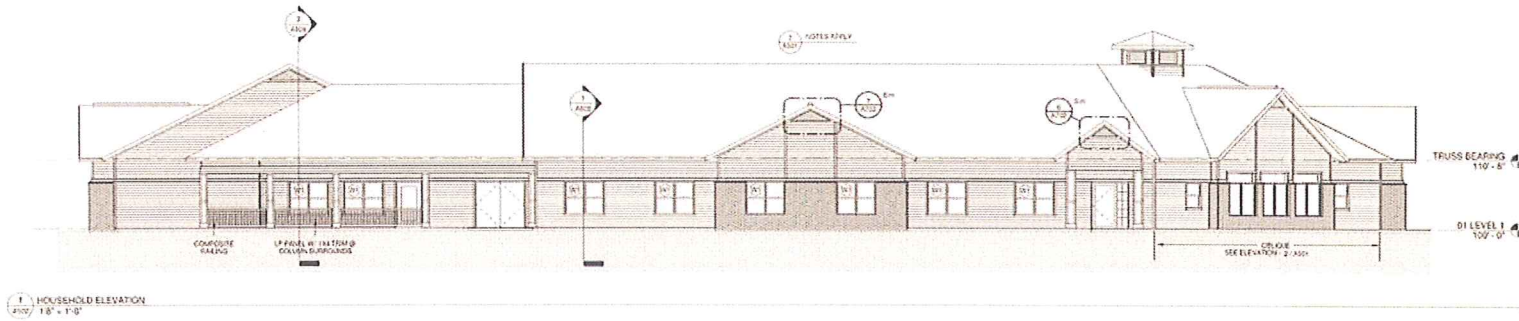






Sheet Revision Schedule

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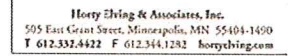
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EXTERIOR ELEVATIONS - TYP  
HOUSEHOLDS & AREA A  
COURTYARD

Scale: 1/8" = 1'-0"  
Date: 5/21/15  
Project Number: 146628

A502





### Sheet Revision Schedule

File #	Date	Revised	Description
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NOTE: REFER TO 1/AS01 FOR  
TYPICAL ELEVATION NOTES

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EXTERIOR ELEVATIONS - AREA A

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Index	Date	Project Number
1.3 <sup>4</sup> = 1.0 <sup>4</sup>	5/21/15	146035

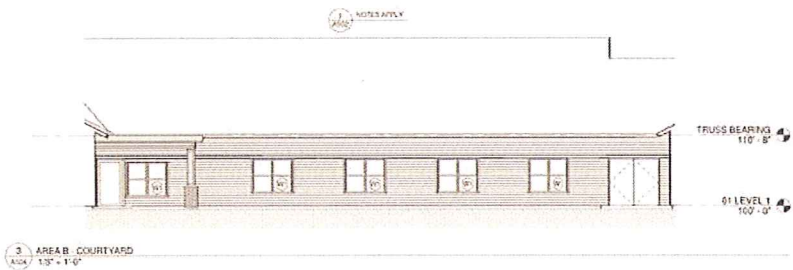
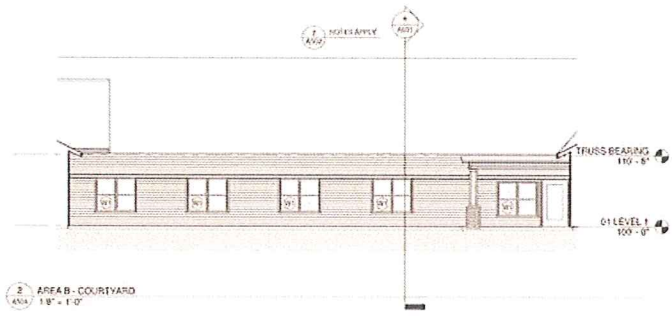
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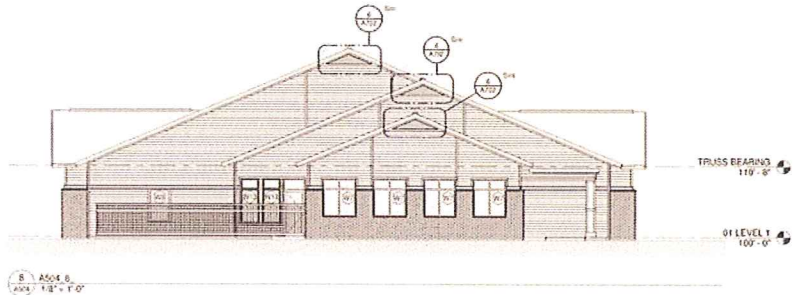
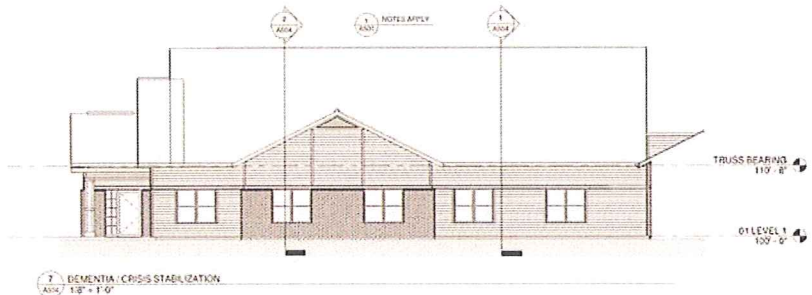
St. Croix County  
BID PACKAGE 2  
Health Center Additions & Renovation  
New Richmond WI

Sheet Revision Schedule

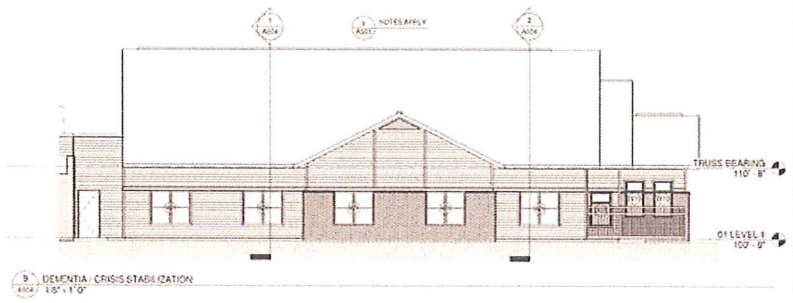
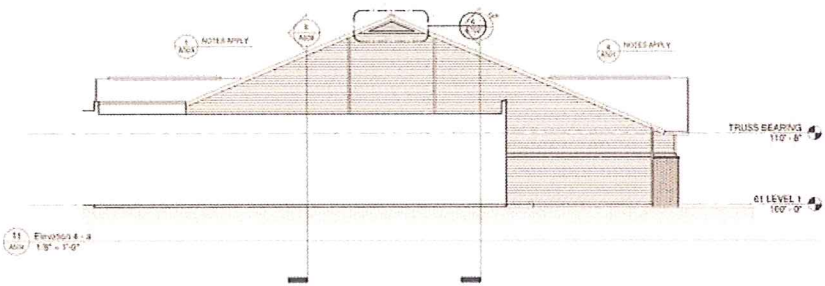
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NOTE REFER TO 1 A502 FOR  
TYPICAL ELEVATION NOTES



NOTE REFER TO 8 A502 FOR  
TYPICAL ELEVATION NOTES



EXTERIOR ELEVATIONS - AREA B  
COURTYARD & AREA C

Scale	Date	Project Number
1/8" = 1'-0"	5/21/15	146028

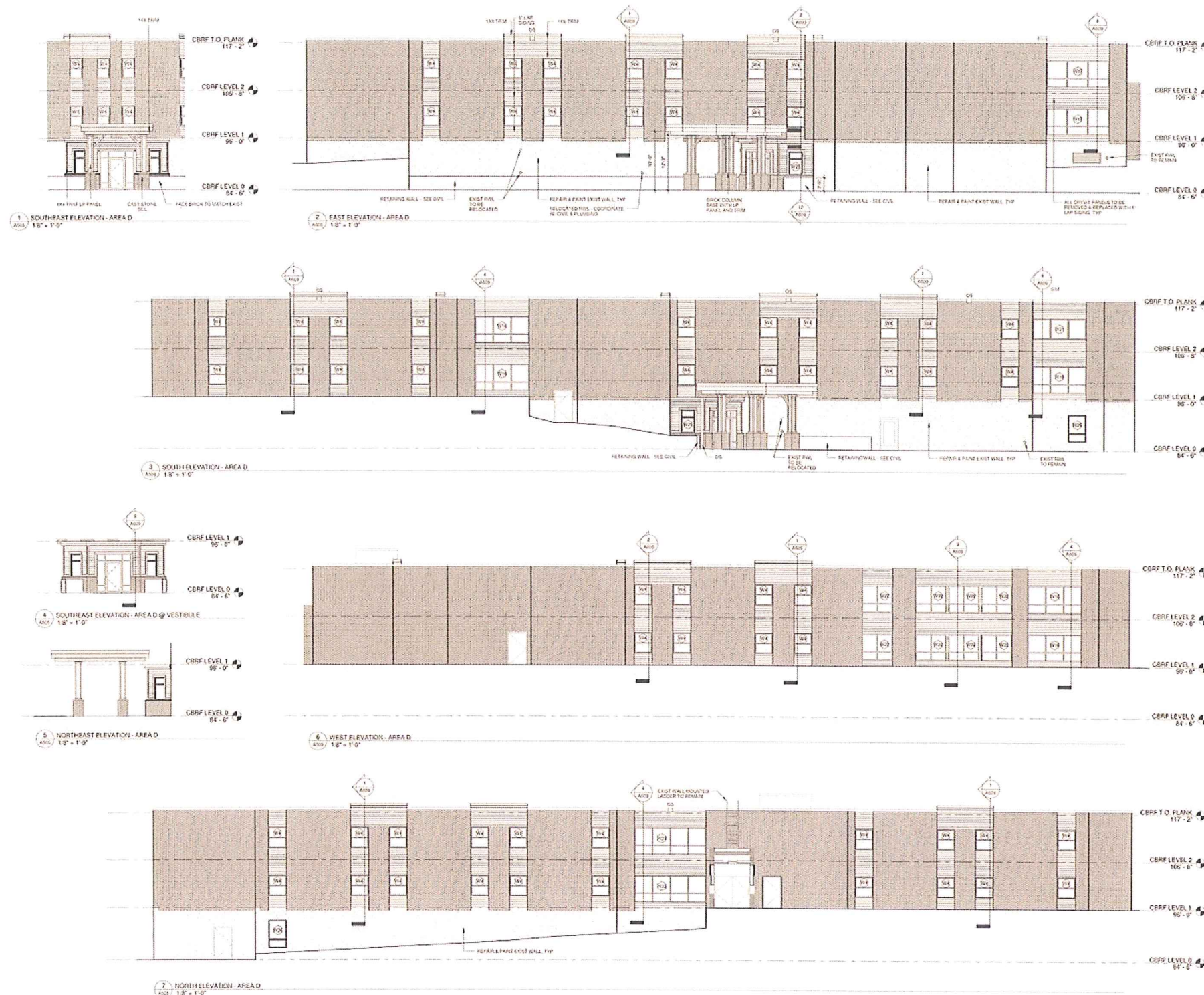
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St. Croix County  
BID PACKAGE 2  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

Rev.	Date	Revised	Description
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EXTERIOR ELEVATIONS - AREA D

Drawn	Date	Project Number
1/3/15	5/21/15	146008

A505



### Sheet Revision Schedule

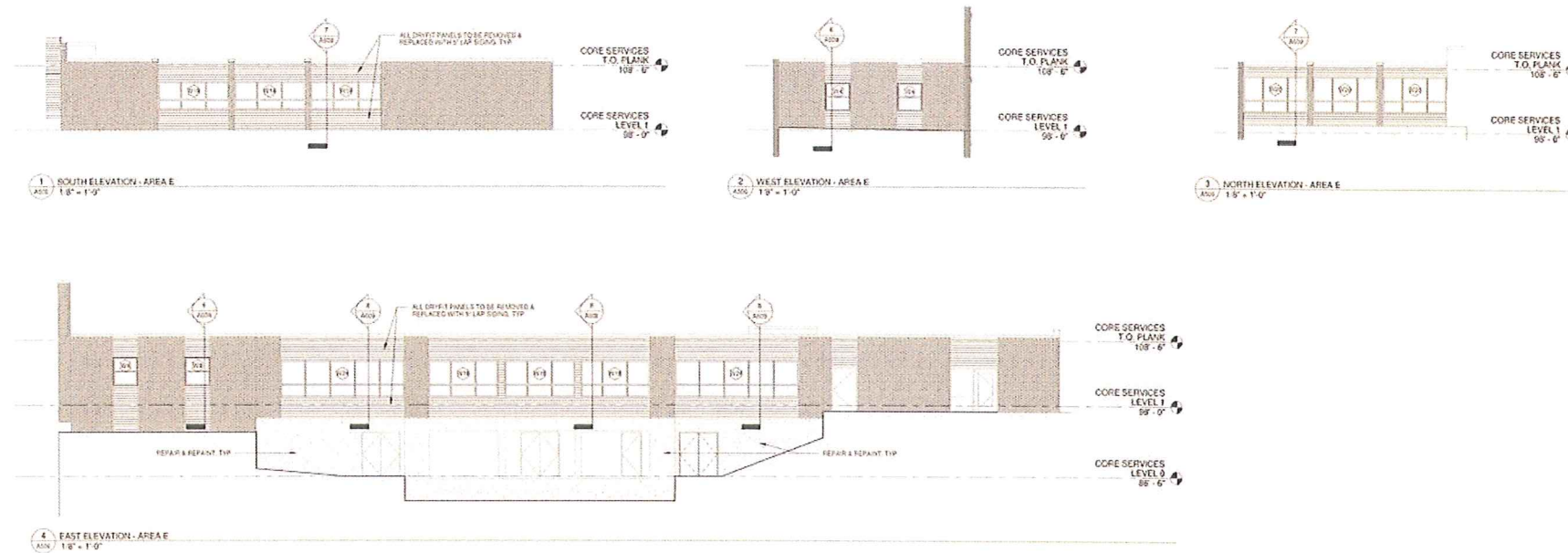
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### Sheet Revision Schedule

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**EXTERIOR ELEVATIONS - AREA E**

	<b>A506</b>
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### Sheet Revision Schedule

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72	1/1/77	1/1/77	1/1/77
73	1/1/77	1/1/77	1/1/77
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76	1/1/77	1/1/77	1/1/77
77	1/1/77	1/1/77	1/1/77
78	1/1/77	1/1/77	1/1/77
79	1/1/77	1/1/77	1/1/77
80	1/1/77	1	

GENERAL NOTES:

2. FINISH FLOOR ELEVATION TYPE = 100' 0" - 104.5' 2"
3. EXTERIOR DIMENSION TO EXTERIOR FACE OF FINISHING.
4. SEE IDENTIFICATION FOR FUTURE LOCATION OF SYLVARIS/BAKAR/ 70, ETC.
5. INTERIOR DIMENSION SHALL DIMENSIONED TO FINISH FACE OF WALL SPECIFIED AREA.
6. INTERIOR DIMENSION TO CENTER OF WALL.
7. DIMENSION WALL ATTACHMENT TYPE TO ALL WALL BEARING TO SEE STAINLESS STEEL ATTACHMENT THEREON. ALL INTERIOR BEARING WALLS SHALL BE 16" MIN.
8. (A) INDICATED EQUIPMENT, SEE EQUIPMENT SCHEDULE.
9. AT LEAST 4" R-15 BUILDING R-45 VERIFY ALL WINDOW GREENHOUSES.
10. APPROPRIATE EXTERIOR RADIATORS IN AREA 6.1
11. ALL FURNITURE IS TO BE CALIBRATED BY FREE AIR DIMENSIONS PROVIDED
  1. HAZARD.
  2. HAZARD, HAZARD 2 (WALL GUARD)
  3. HAZARD, WALKWAY SAFETY
  4. HAZARD, HAZARD 1 (WALL GUARD) SEE SECTION 2000.
  5. HAZARD 2 (WALL GUARD)
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### 1-HR PROTECTION OF BEARING WALLS

WALL TYPES VARY

FIRE PROTECTION OF RATED WALLS IS TO BE ON FINISHED UNRATED PARTITIONS ARE NOT ALLOWED TO INTERRUPT THIS CONTINUOUS PROTECTION

RATED WALLS SUCH AS FIRE RATED GLASS, GLASS BLOCKS, FIRE PARTITIONS, AND FIRE WALLS ARE NOTED ON THE PLAN

GATED WALLS SUCH AS BEARING WALLS ARE NOT LOCATED ON THE PLANE, AND WITHIN IT. ALL STRUCTURAL WALLS ARE 12" MIN. AND THE REINFORCING IS TO BE CONTINUOUS, INCLUDING FIRE AND CORROSION PROTECTION.

FOR TREATING IN PLACE, WALLS BY OPENING FOR DOORS OR WINDOWS, REQUIRING A SERIES OF TAP PROTECTION, THIS CAN BE ACHIEVED BY WEAVING THE OPENING WITH A SYSTEM OF GIRDERS OR STEELING A RAILROAD TRAIN FOR DOORS AND FIRE COMPARTMENTS FOR 2' HIGH.

### KEY PLAN



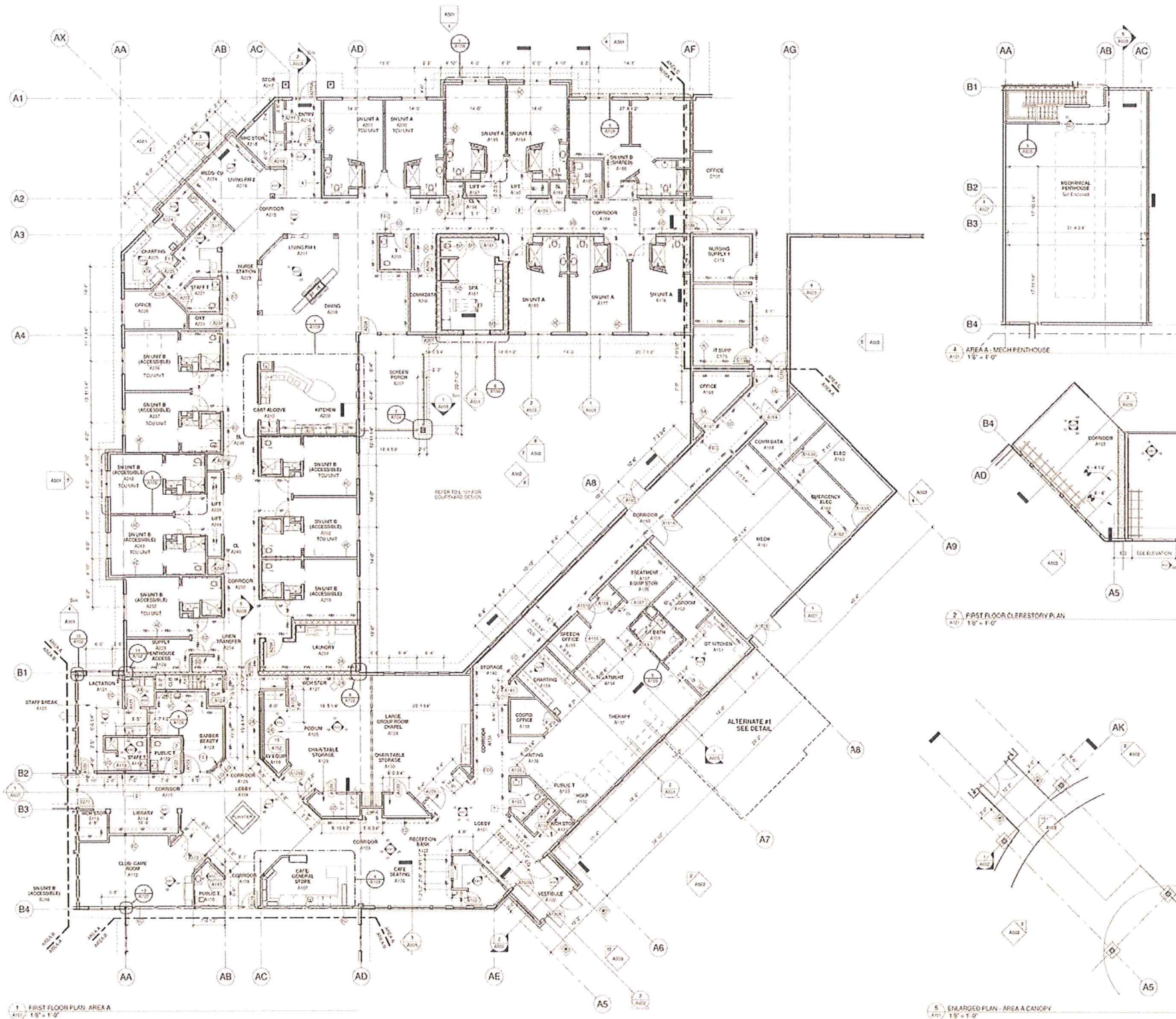
**EXHIBIT J**

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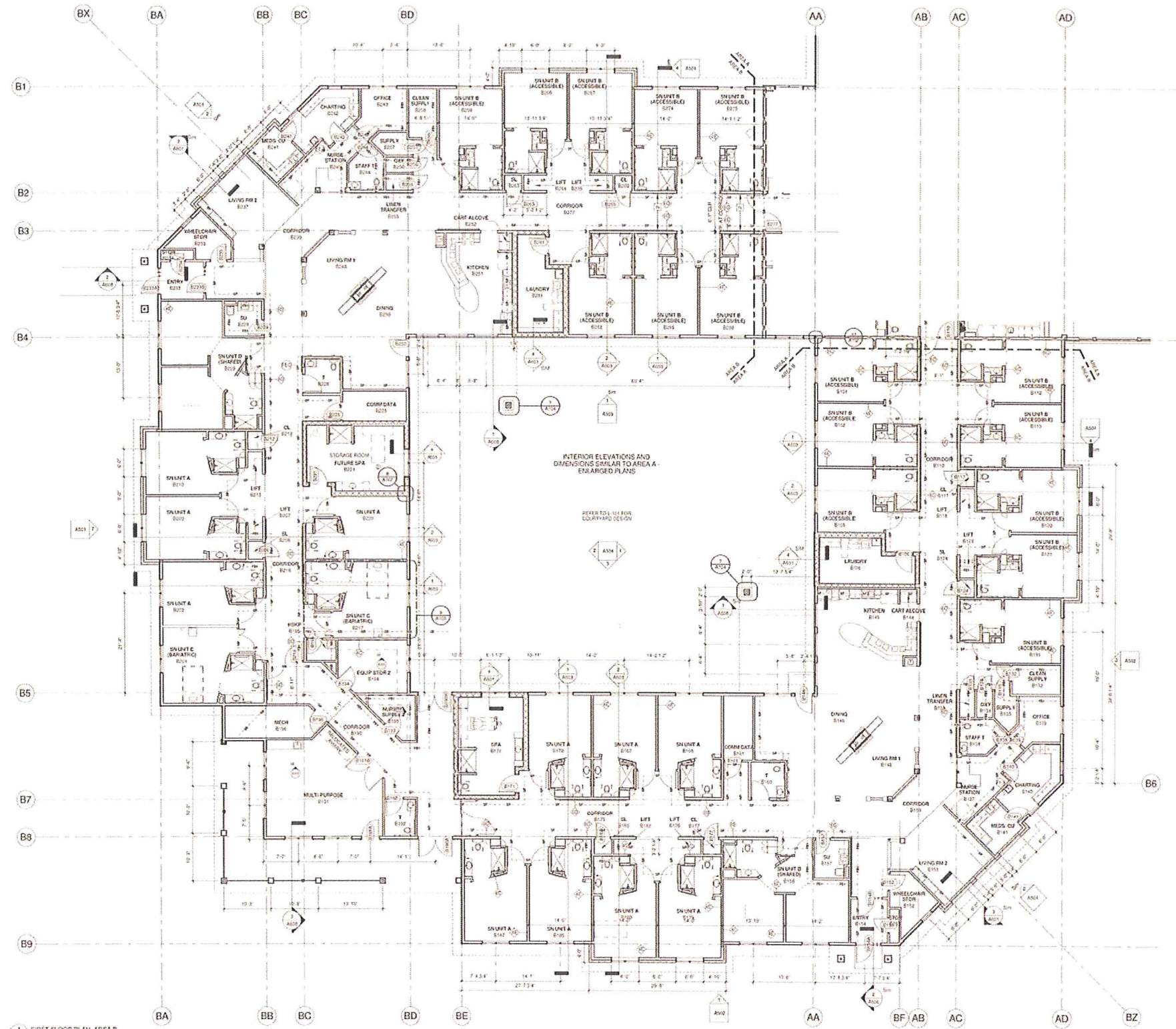
FIRST FLOOR PLAN - AREA A SNF & TOWN CENTER

Size	Date	Project Number
As indicated	4/6/15	145038

A101







1 FIRST FLOOR PLAN - AREA B

**St. Croix County  
BID PACKAGE 2  
Health Center Additions & Renovation  
New Richmond, WI**

**Sheet Revision Schedule**

Rev.	Date	Revised	Description
1			
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**GENERAL NOTES:**

1. FINISH FLOOR ELEVATION (F.F.E.) = 100'-0" = 104.50'
2. EXTERIOR DIMENSIONS TO EXTERIOR FACE OF SHEATHING
3. SEE SPECIFICATION FOR TYPE AND LOCATION OF GYPSUM BOARD
4. EXTERIOR CORRIDOR WALLS DIMENSIONED TO FINISH FACE OF WALL SPECIFIED CLEAR
5. INTERIOR WALLS DIMENSIONED TO CENTER OF WALL
6. STANDARD WALL ASSEMBLY IS TYPE AS, ALL NOW BEARING TO BE STEEL STUD INLETS NOTED OTHERWISE, ALL EXTERIOR BEARING WALLS TO BE WOOD STUD
7. (XX) INDICATED EQUIPMENT, SEE EQUIPMENT SCHEDULE
8. AT AREA B & E BUILDINGS, FIELD VERIFY ALL WINDOW OPENINGS
9. REPAINT ALL EXISTING RADIATORS IN AREA B & E
10. ALL FURNITURE (SHOWN DASHED) BY FF&E OR PRESENT PROVIDED

**1-HR PROTECTION OF BEARING WALLS**

WALL TYPES VARY

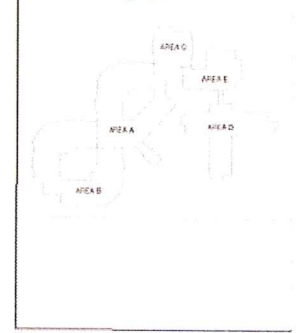
FIRE PROTECTION OF RATED WALLS TO BE CONTINUOUS UNRATED PARTITIONS ARE NOT ALLOWED TO INTERRUPT THIS CONTINUOUS PROTECTION

RATED WALLS SUCH AS FIRE BARRIERS, SMOKE BARRIERS, FIRE PARTITIONS, AND FIRE WALLS ARE NOTED ON THE PLANS

RATED WALLS SUCH AS BEARING WALLS ARE NOT NOTED ON THE PLANS. SEE STRUCTURAL. ALL EXISTING WALLS ARE 1-HR RATED AND SHALL BE PROTECTED TO BE CONTINUOUS ENGINEERED FIRE AND SMOKE PARTITIONS

REINTEGRATING PLASTER OR WALLS BY OPENING FOR DOORS OR CLOTHES HOOKS, A MINIMUM OF 2-HR RATED WALLS SHALL BE APPLIED BY WEARING THE OPENING WITH A 2" OVERLAP BOARD OR BY WEARING A 2" RATED PARTITION BOARD AND THE DAMPERS FOR FOOT WORK

**KEY PLAN**



1.00 Project: St. Croix County Health Center Additions & Renovation  
2.00 Drawing: FIRST FLOOR PLAN - AREA B SNF  
3.00 Date: 5/21/15  
4.00 Project Number: 146018

**FIRST FLOOR PLAN - AREA B SNF**

Scale: As Indicated Date: 5/21/15 Project Number: 146018

1.00 Project: St. Croix County Health Center Additions & Renovation  
2.00 Drawing: FIRST FLOOR PLAN - AREA B SNF  
3.00 Date: 5/21/15  
4.00 Project Number: 146018

1.00 Project: St. Croix County Health Center Additions & Renovation  
2.00 Drawing: FIRST FLOOR PLAN - AREA B SNF  
3.00 Date: 5/21/15  
4.00 Project Number: 146018

1.00 Project: St. Croix County Health Center Additions & Renovation  
2.00 Drawing: FIRST FLOOR PLAN - AREA B SNF  
3.00 Date: 5/21/15  
4.00 Project Number: 146018



**St. Croix County  
BID PACKAGE 2**  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

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GENERAL NOTES:

1. FINISH FLOOR ELEVATION (FFE) = 102.0' ±, NAD 83
2. EXTERIOR DIMENSION TO EXTERIOR FACE OF SHEATHING
3. SEE SPECIFICATION FOR TYPE AND LOCATION OF EXTERIOR BOARDING, 1/2" X 8" ETD
4. INTERIOR CORRIDOR WALLS DIMENSIONED TO FINISH FACE OF WALL, SPECIFIED CLEAN
5. INTERIOR WALLS DIMENSIONED TO CENTER OF WALL
6. STANDARD WALL ASSEMBLY IS TYPE 42, ALL NON-BEARING TO BE STEEL STUD UNLESS NOTED OTHERWISE. ALL INTERIOR BEARING WALLS TO BE WOOD STUD.
7. (XX) INDICATED EQUIPMENT, SEE EQUIPMENT SCHEDULE
8. AT AREA D & E BUILDINGS, FIELD VERIFY ALL WINDOW OPENINGS
9. REPAINT ALL EXISTING PARTITIONS IN AREA D & E
10. ALL FURNITURE (SHOWN DASHED) BY FF&E OR RESIDENT PROVIDED

1-HR PROTECTION OF BEARING WALLS

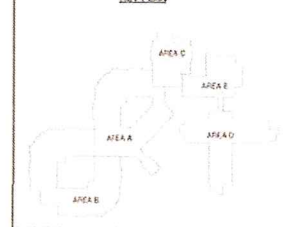
WALL TYPES VARY

FIRE PROTECTION OF RATED WALLS IS TO BE CONTINUOUS. UNRATED PARTITIONS ARE NOT ALLOWED TO INTERRUPT THIS CONTINUOUS PROTECTION.

RATED WALLS SUCH AS FIRE BARRIERS, SMOKE BARRIERS, FIRE PARTITIONS AND FIRE WALLS ARE NOTED ON THE PLANS.

RATED WALLS SUCH AS BEARING WALLS ARE NOT NOTED ON THE PLANS. ALL BEARING WALLS ARE TO BE CONTINUOUS. UNRATED PARTITIONS ARE NOT ALLOWED TO INTERRUPT THIS CONTINUOUS PROTECTION. BEARING WALLS ARE TO BE PROTECTED BY PROVIDING A RATED GABLE END WALL OR FIRE DAMPERS NOT LESS THAN 1-HR.

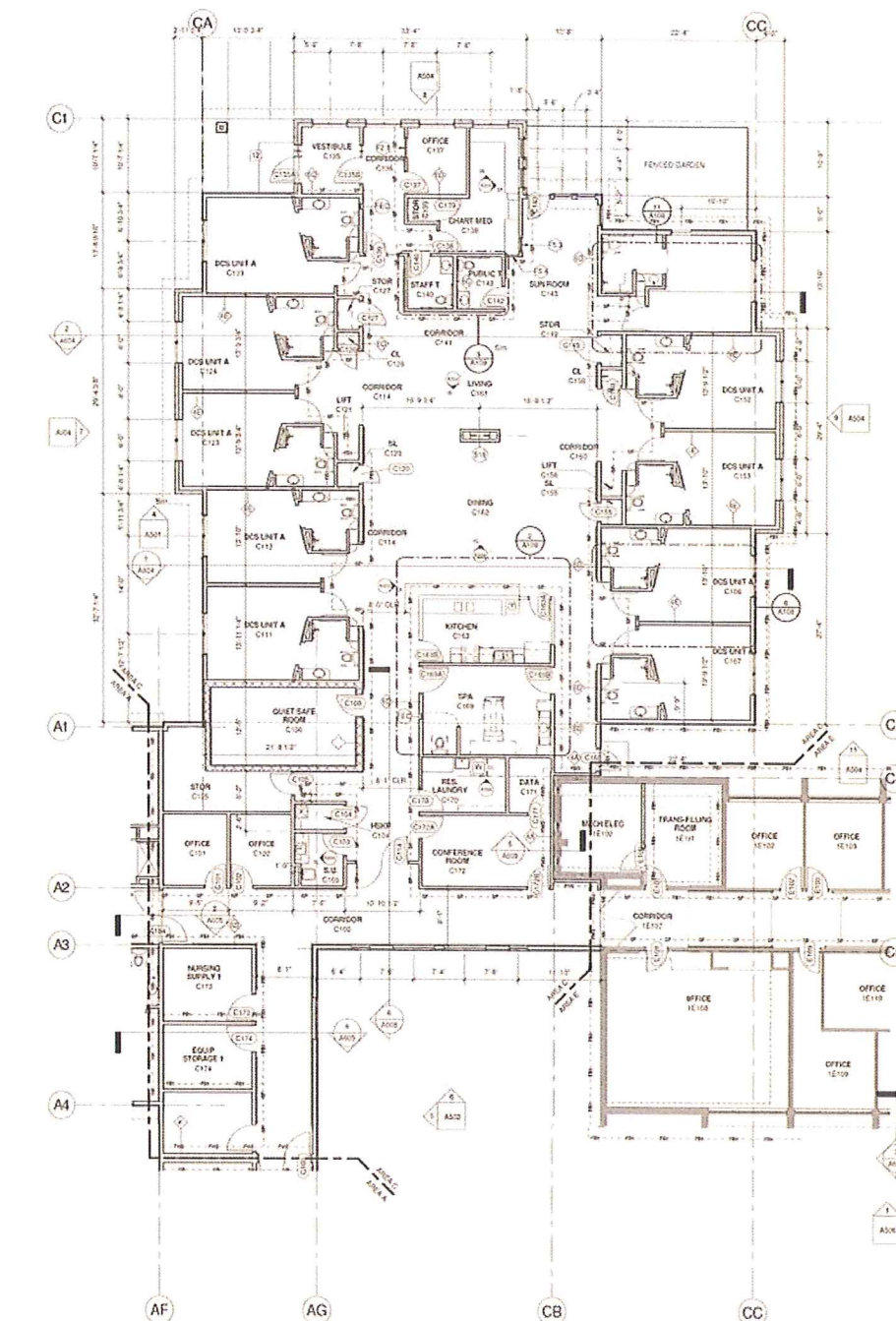
KEY PLAN



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**FIRST FLOOR PLAN - AREA C  
DEMENTIA/CRISIS STABILIZATION**

Revised	Date	Project Number
As indicated	5/21/15	146038



1 FIRST FLOOR PLAN - AREA C  
1/8" = 1'-0"

### Sheet Revision Schedule

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Source	Date	Project Number
As indicated	5/21/15	146038



**St. Croix County  
BID PACKAGE 2**  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

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**GENERAL NOTES:**

1. FINISH FLOOR ELEVATION (FFE) = 100' 0" = 104.67'
2. EXTERIOR DAMENKOW TO EXTERIOR FACE OF SHEATHING
3. SEE SPECIFICATION FOR TYPE AND LOCATION OF GYPSUM BOARD, "X", "C", ETC.
4. INTERIOR CORRIDOR WALLS DIMENSIONED TO FINISH FACE OF WALL SPECIFIED CLEAR
5. INTERIOR WALLS DIMENSIONED TO CENTER OF WALL
6. STANDARD WALL ASSEMBLY IS TYPE AG, ALL NON-BEARING TO BE STEEL STUD WALLS NOTED OTHERWISE. ALL EXTERIOR CLADDING WALLS TO BE WOOD STUD
7. (XX) INDICATED EQUIPMENT, SEE EQUIPMENT SCHEDULE
8. AT AREA D & E BUILDINGS, FIELD VERIFY ALL WINDOW OPENINGS
9. REPAIR ALL EXISTING RADIATORS IN AREA D & E
10. ALL FURNITURE (SHOWN DASHED) BY FIRM OR RESIDENT PROVIDED

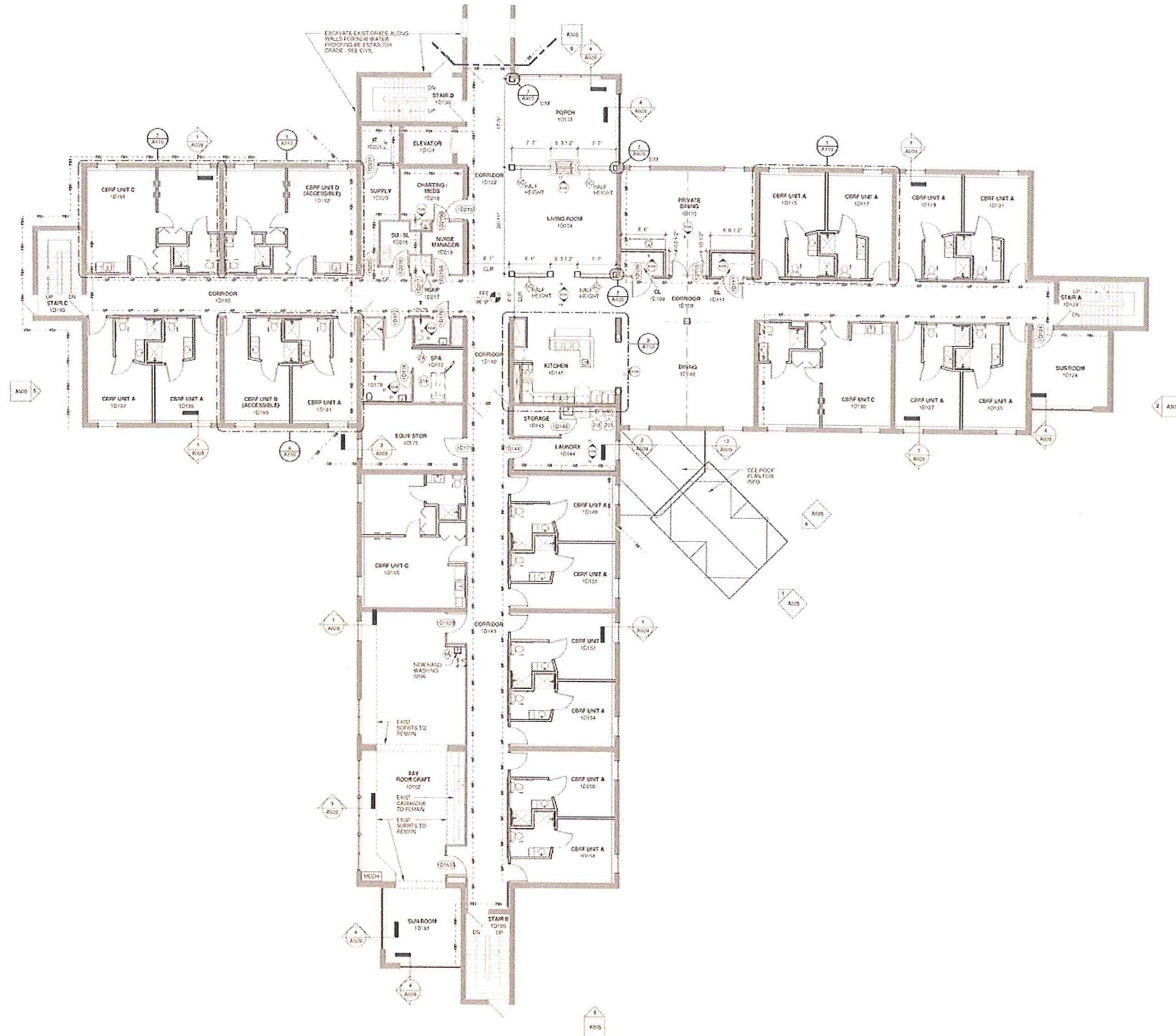
**KEY PLAN**



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**FIRST FLOOR PLAN - AREA D CBRF**


Scale: As indicated Date: 5/21/15 Project Number: 140038



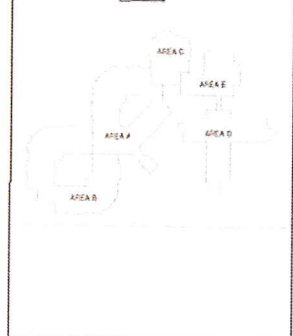
**St. Croix County**  
**BID PACKAGE 2**  
Health Center Additions & Renovation  
New Richmond, WI

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**GENERAL NOTES:**

1. FINISH FLOOR ELEVATION (FFE) = 110.8' ± 145.5'
2. EXTERIOR DIMENSION TO EXTERIOR FACE OF SHEATHING
3. SEE SPECIFICATION FOR TYPE AND LOCATION OF GYPSUM BOARD
4. INTERIOR CORNER JOINTS FINISHED TO FINISH FACE OF WALL. INTERIOR CORNER
5. INTERIOR WALLS FINISHED TO CENTER OF WALL.
6. STANDBY WALL ASSEMBLY TYPE #4. ALL NON-BEARING TO BE INTERIOR STUD WALLS UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS TO BE WOOD STUD
7.  INSULATED EQUIPMENT. SEE EQUIPMENT SCHEDULE
8. AT APERTURE & BUILDING FIELD VERIFY ALL WINDOW OPERATIONS
9. PREPARE ALL EXISTING DOORS IN AREA D & E
10. ALL FURNITURE, RACKS, ETC. BY OTHER OR PREVIOUS PROVIDER


### KEY PLAN



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SECOND FLOOR PLAN - AREA D  
CBRF

Grade	Date	Project Name
As indicated	5/21/15	146039


**A100**

1 SECOND FLOOR PLAN - AREA D CBRF  
A106 1/8" = 1'-0"

INTERIOR  
ELEVATIONS AND  
DIMENSIONS  
SIMILAR TO FIRST  
FLOOR - AREA D  
SHEET A105

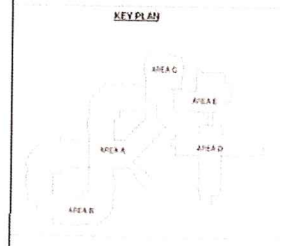


St. Croix County  
BID PACKAGE 2  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

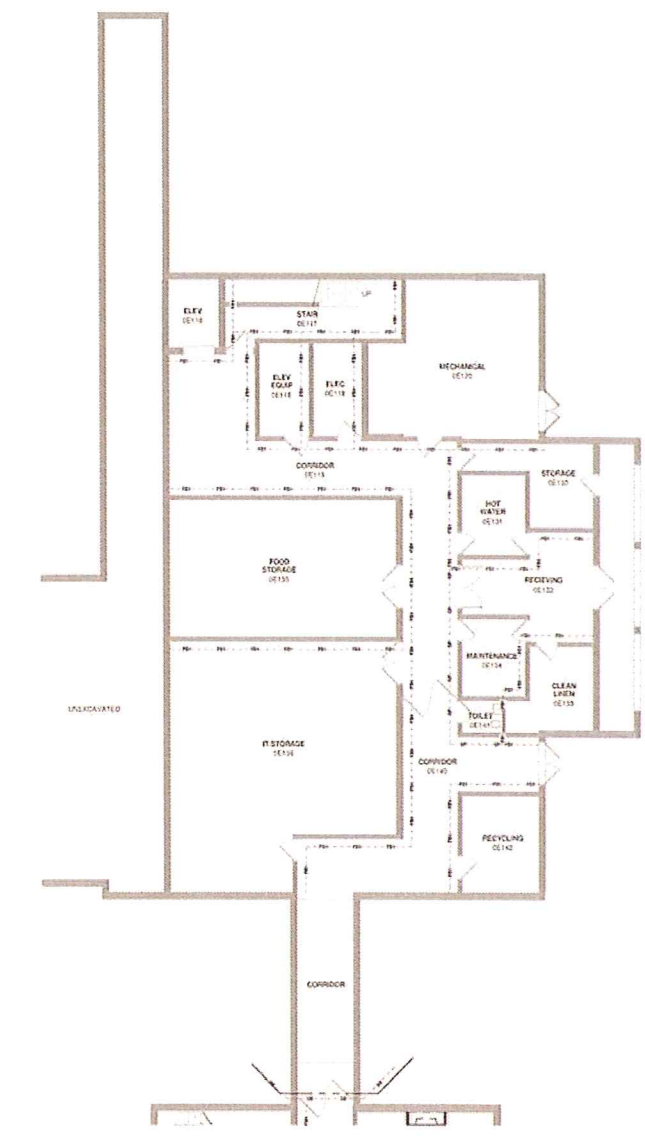
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- GENERAL NOTES:
- FRESH FLOOR ELEVATION: FFE = 100' 0" = 104.50'
  - EXTERIOR DIMENSION TO EXTERIOR FACE OF SHEATHING
  - SEE SPECIFICATION FOR TYPE AND LOCATION OF SUPPLY RISERS, ETC., ETC.
  - INTERIOR CORRIDOR WALLS DIMENSIONED TO FRESH FACE OF WALL, SPECIFIED CLEAR
  - INTERIOR WALLS DIMENSIONED TO CENTER OF WALL
  - STANDARD WALL FINISHES: TYPE #2, ALL NON-BEARING WALLS TO BE STEEL STUD WALLS, INTERIOR OF PARTIAL. ALL EXTERIOR BEARING WALLS TO BE WOOD STUD.
  - INDICATED EQUIPMENT. SEE EQUIPMENT SCHEDULE.
  - AT AREA D & E, RADIANT FLOOR VERIFY ALL WINDOW OPENINGS
  - REPAIR ALL EXISTING RADIANCER IN AREA D & E
  - ALL FURNITURE (SHOWN DASHED) BY FFE OR PRESENT PROVIDED

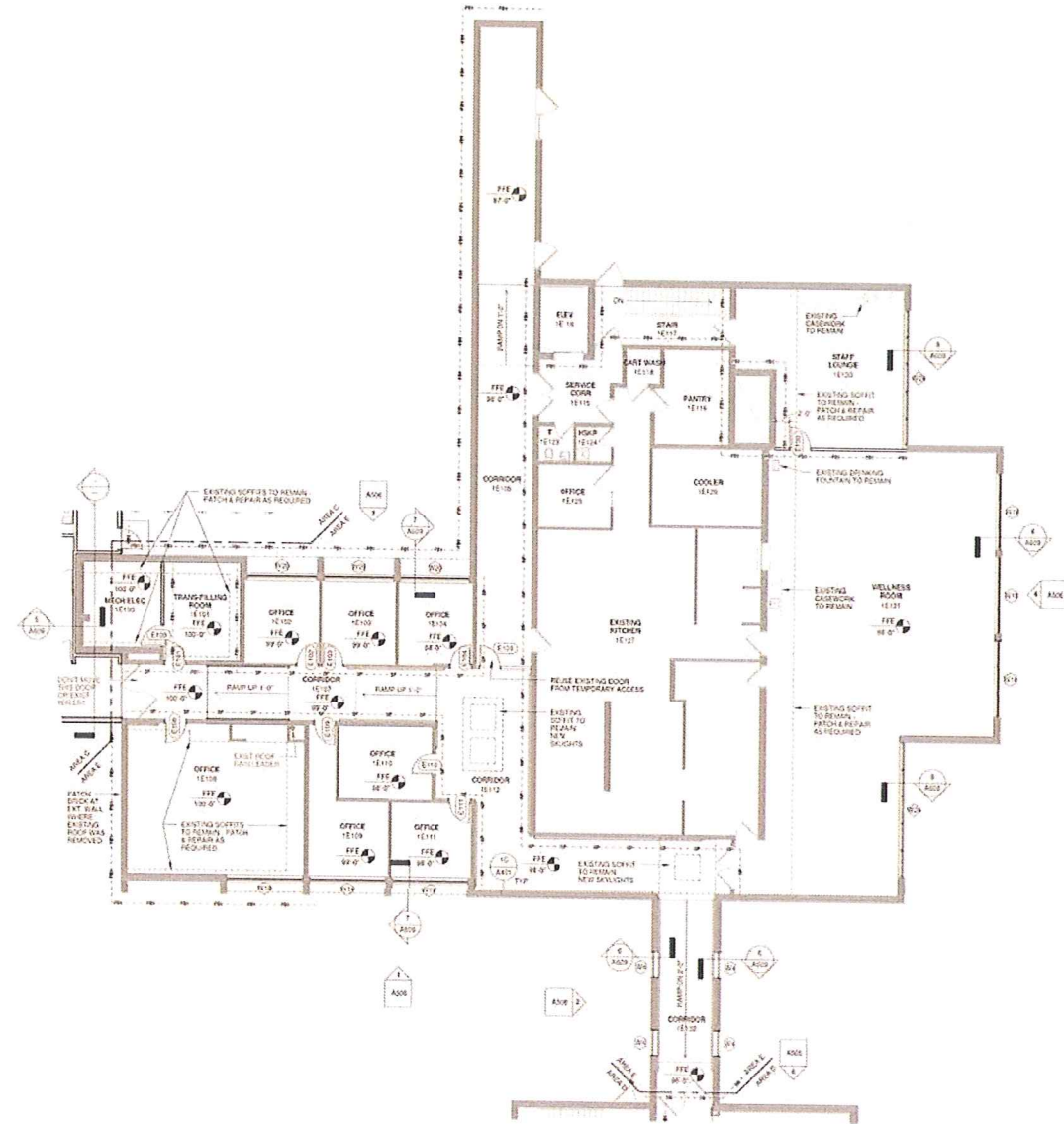


BASEMENT & FIRST FLOOR PLAN - AREA E CORE SERVICES

Scale	Date	Project No.
As indicated	5/21/15	146038



1. BASEMENT FLOOR PLAN - AREA E  
1/8" = 1'-0"

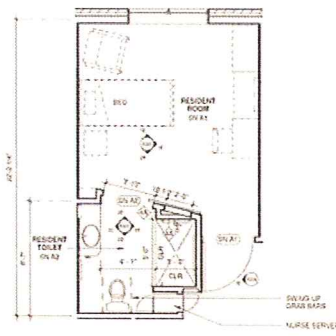


2. FIRST FLOOR PLAN - AREA E  
1/8" = 1'-0"

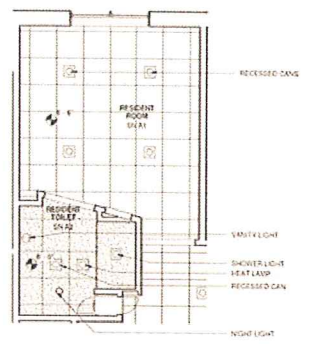
St. Croix County  
**BID PACKAGE 2**  
Health Center Additions & Renovation  
New Richmond, WI

Sheet Revision Schedule

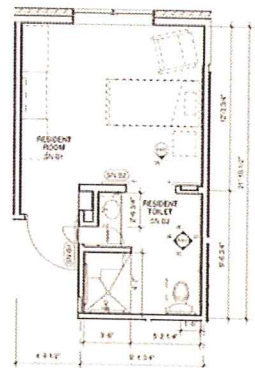
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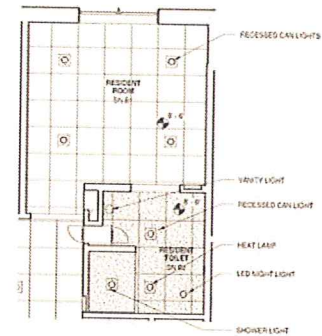
1 ENLARGED PLAN - SN UNIT A  
A108 1/4" = 1'-0"



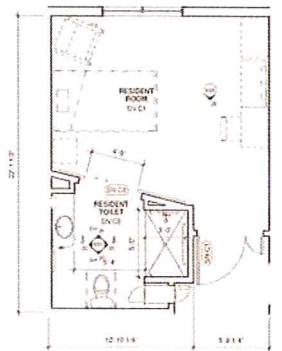
2 ENLARGED RCP - SN UNIT A  
A108 1/4" = 1'-0"



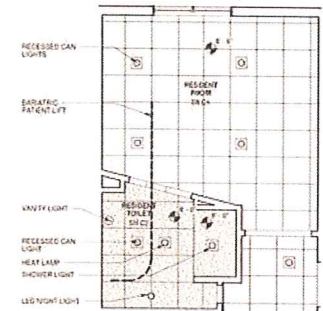
3 ENLARGED PLAN - SN UNIT B (ACCESSIBLE)  
A108 1/4" = 1'-0"



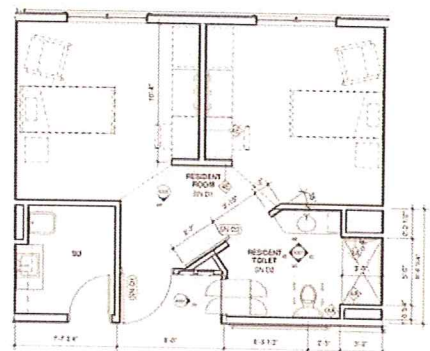
4 ENLARGED RCP - SN UNIT B (ACCESSIBLE)  
A108 1/4" = 1'-0"



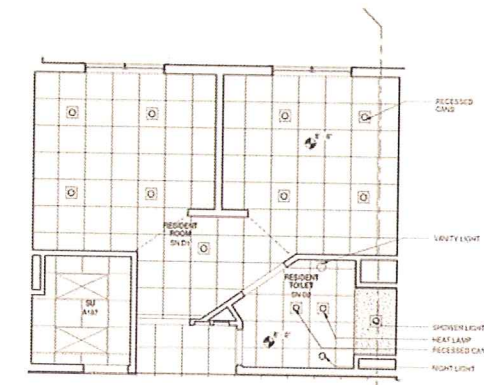
5 ENLARGED PLAN - SN UNIT C (BARIATRIC)  
A108 1/4" = 1'-0"



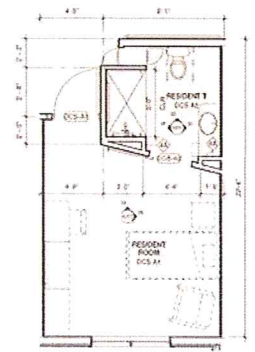
6 ENLARGED RCP - SN UNIT C (BARIATRIC)  
A108 1/4" = 1'-0"



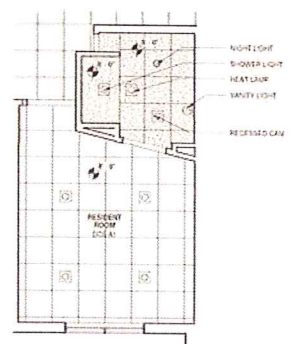
7 ENLARGED PLAN - SN UNIT D (SHARED)  
A108 1/4" = 1'-0"



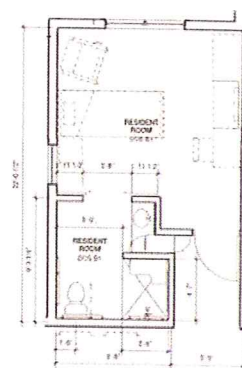
8 ENLARGED RCP - SN UNIT D (SHARED)  
A108 1/4" = 1'-0"



9 ENLARGED PLAN - DCS UNIT A  
A108 1/4" = 1'-0"



10 ENLARGED RCP - DCS UNIT A  
A108 1/4" = 1'-0"



11 ENLARGED PLAN - DCS UNIT B (ACC)  
A108 1/4" = 1'-0"

ENLARGED PLANS - AREA A, B & C

Scale	Date	Project Number
1/4" = 1'-0"	5/21/15	146038